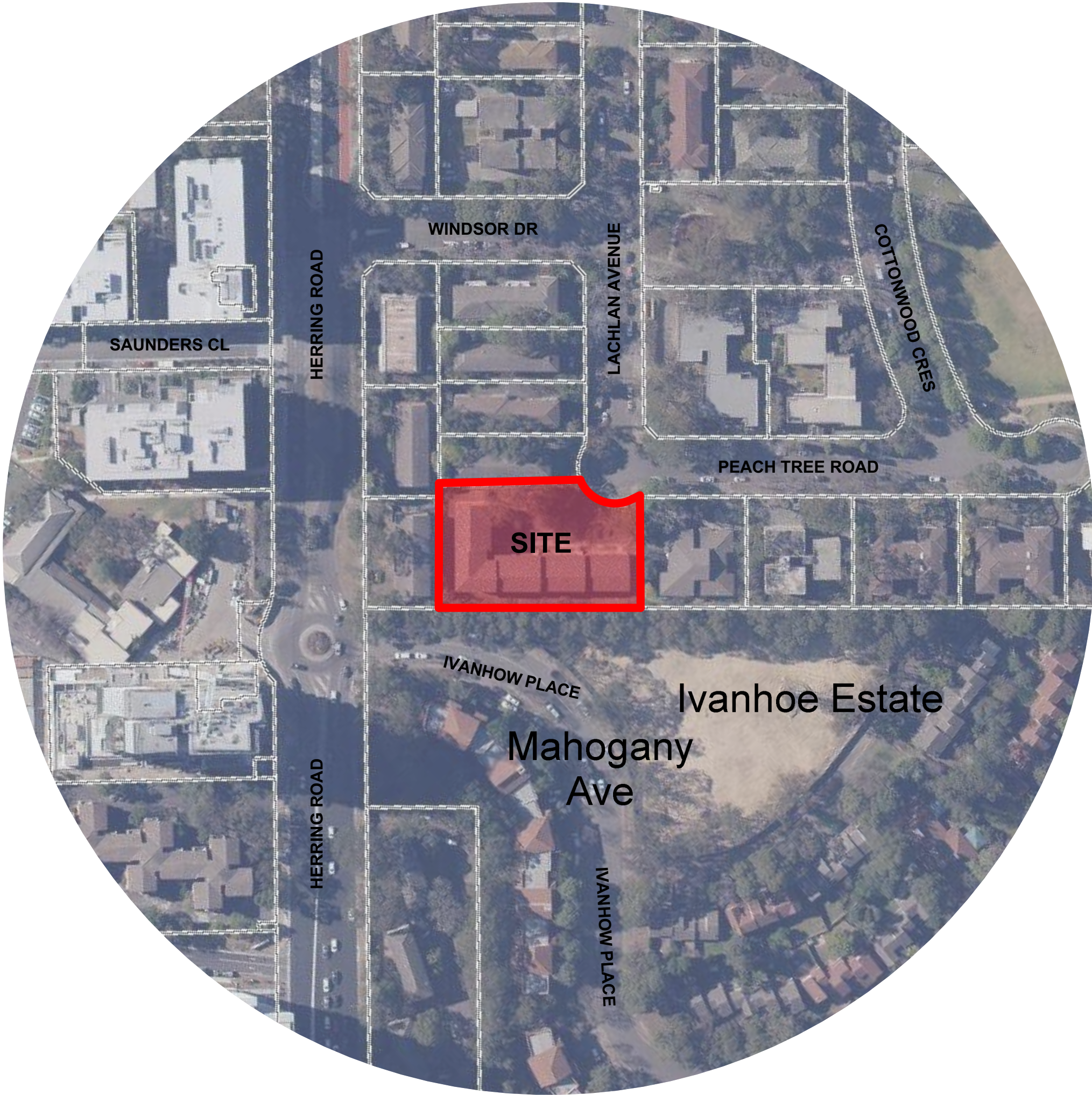


# DEVELOPMENT APPLICATION

## 1-3 LACHLAN AVENUE, MACQUARIE PARK



LOCATION PLAN N.T.S

SHEET INDEX		DRAWING SCALES
NO	SHEET	
0000	COVER SHEET	
1000	SITE PLAN / SITE ANALYSIS PLAN	1:200
1100	DEMOLITION PLAN	1:100
2000	BASEMENT FLOOR PLAN B2	1:100
2001	BASEMENT FLOOR PLAN B1	1:100
2100	LOWER GROUND FLOOR PLAN	1:100
2101	MEZZANINE FLOOR PLAN	1:100
2102	UPPER GROUND FLOOR PLAN	1:100
2103	LEVEL 1 FLOOR PLAN	1:100
2104	LEVEL 2 FLOOR PLAN	1:100
2105	LEVEL 3 FLOOR PLAN	1:100
2106	LEVEL 4 FLOOR PLAN	1:100
2107	LEVEL 5 FLOOR PLAN	1:100
2108	LEVEL 6 FLOOR PLAN	1:100
2109	LEVEL 7 FLOOR PLAN	1:100
2110	LEVEL 8 FLOOR PLAN	1:100
2111	LEVEL 9 - LEVEL 12 TYPICAL FLOOR PLAN	1:100
2112	LEVEL 13 FLOOR PLAN	1:100
2200	ROOF PLAN	1:100
2300	ADAPTABLE UNITS LAYOUTS	1:50, 1:20, 1:5
2301	TYPICAL DETAILS	1:1
2400	SHADOW DIAGRAMS	1:1000
2500	AREA CALCULATIONS	1:500
2501	SOLAR ACCESS DIAGRAM	1:500
2502	CROSS VENTILATION DIAGRAM	1:500
3100	ELEVATIONS - NORTH & EAST	1:200
3101	ELEVATIONS - SOUTH & WEST	1:200
3200	SECTIONS	1:200
3201	SECTIONS	1:200, 1:100
3202	CONTEXT SECTION	1:200
3300	NEIGHBOURING BUILDING ENVELOPES	1:200
3301	GROUND PLANE DIAGRAMS	1:200
6000	MATERIAL SCHEDULE	
7000	NOTIFICATION PLAN	1:800





## CONTROL TABLE

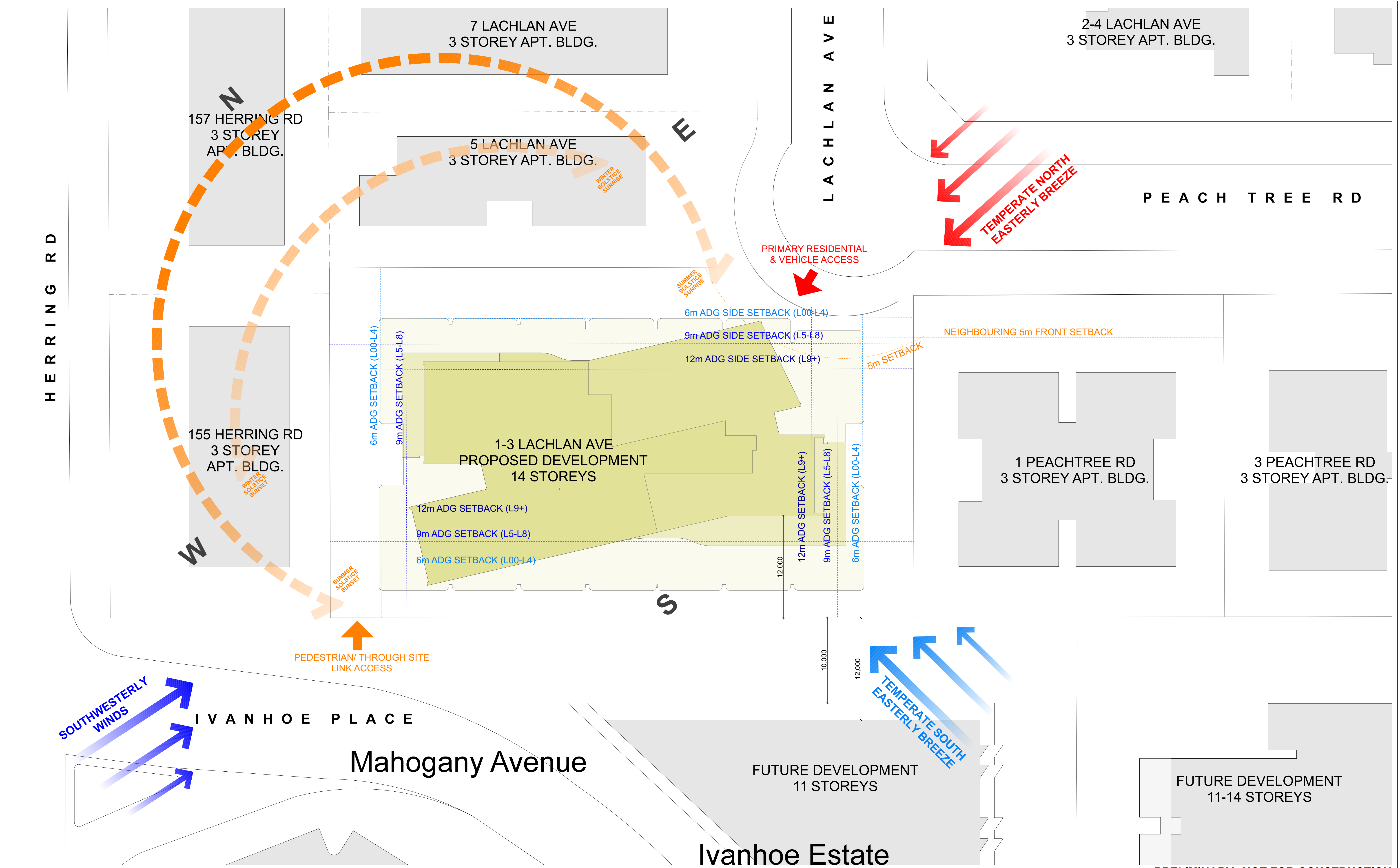
**SITE AREA 2751m<sup>2</sup>**

**UNIT MIX**  
PRIVATE

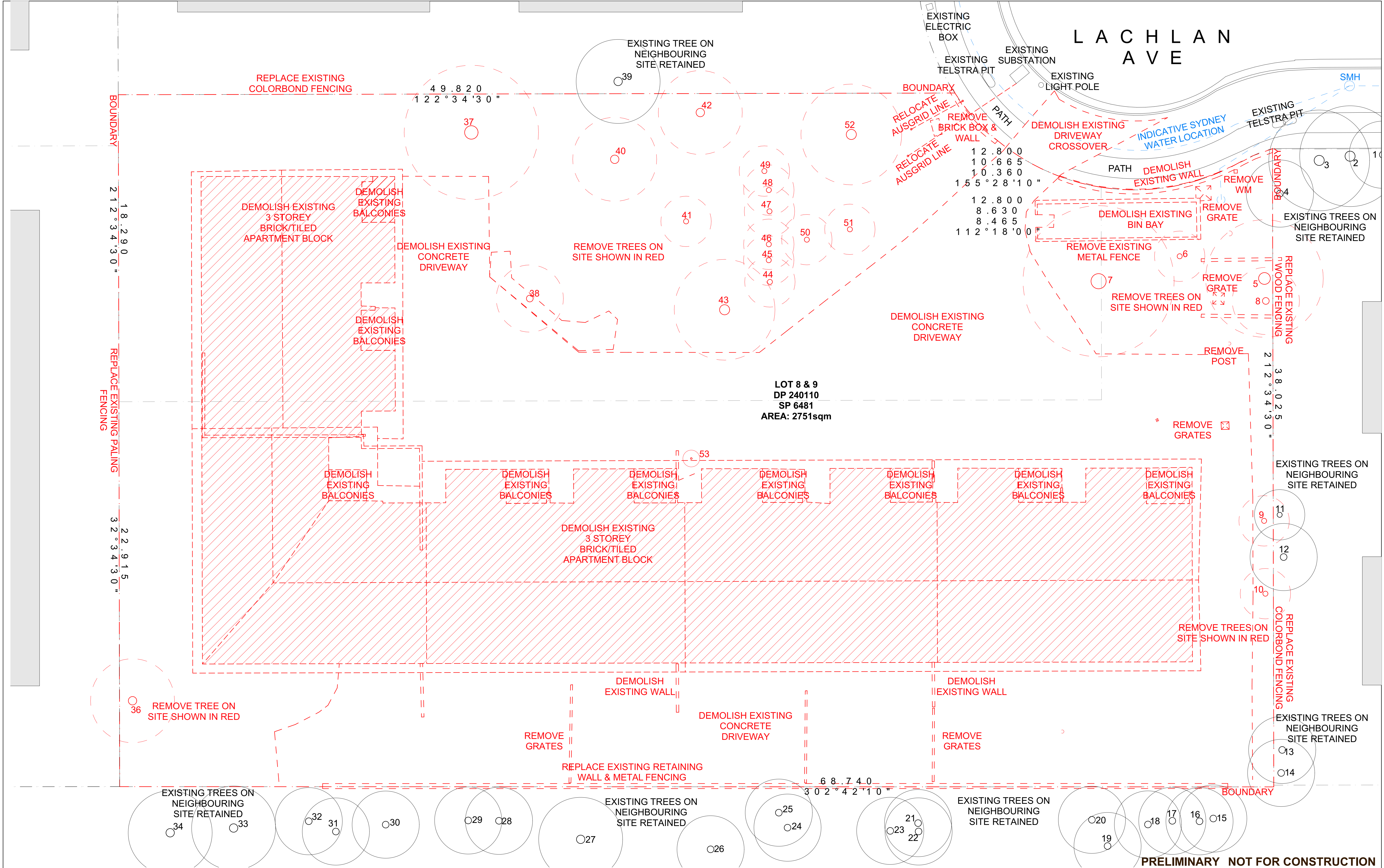
1BED	44 (36%)
2BED	63 (51%)
3BED	16 (13%)
<b>SUBTOTAL</b>	<b>123</b>

	<b>REQUIRED</b>	<b>PROPOSED</b>
<b>FSR</b>	4:1 (11,004m <sup>2</sup> )	4:1 (11,003.84m <sup>2</sup> )
<b>HEIGHT</b>	45m	47.83m
<b>COMMUNAL OPEN SPACE</b>	25% OF SITE	30.8% OF SITE (847.61m <sup>2</sup> )
<b>DEEP SOIL</b>	7% (193m <sup>2</sup> )	7.1% (195.63m <sup>2</sup> )
<b>SOLAR</b>	70%	70.7% (87/123)
<b>VENTILATION</b>	60% FOR FIRST 9 STOREY	64.4% (47/73)
<b>CAR PARKING</b>	MAX 112	105 + 2 VISITORS
<b>BICYCLE PARKING</b>	12	Min.15

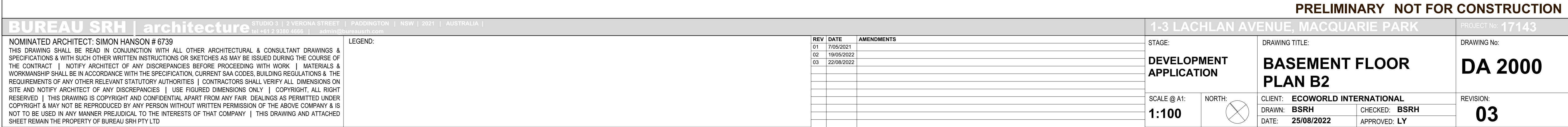




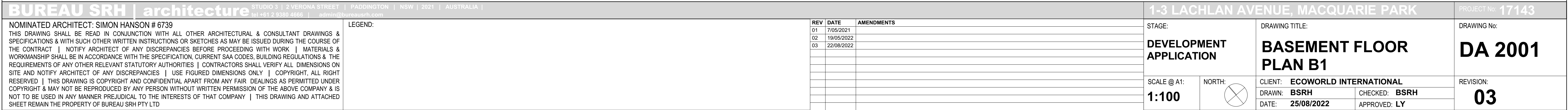








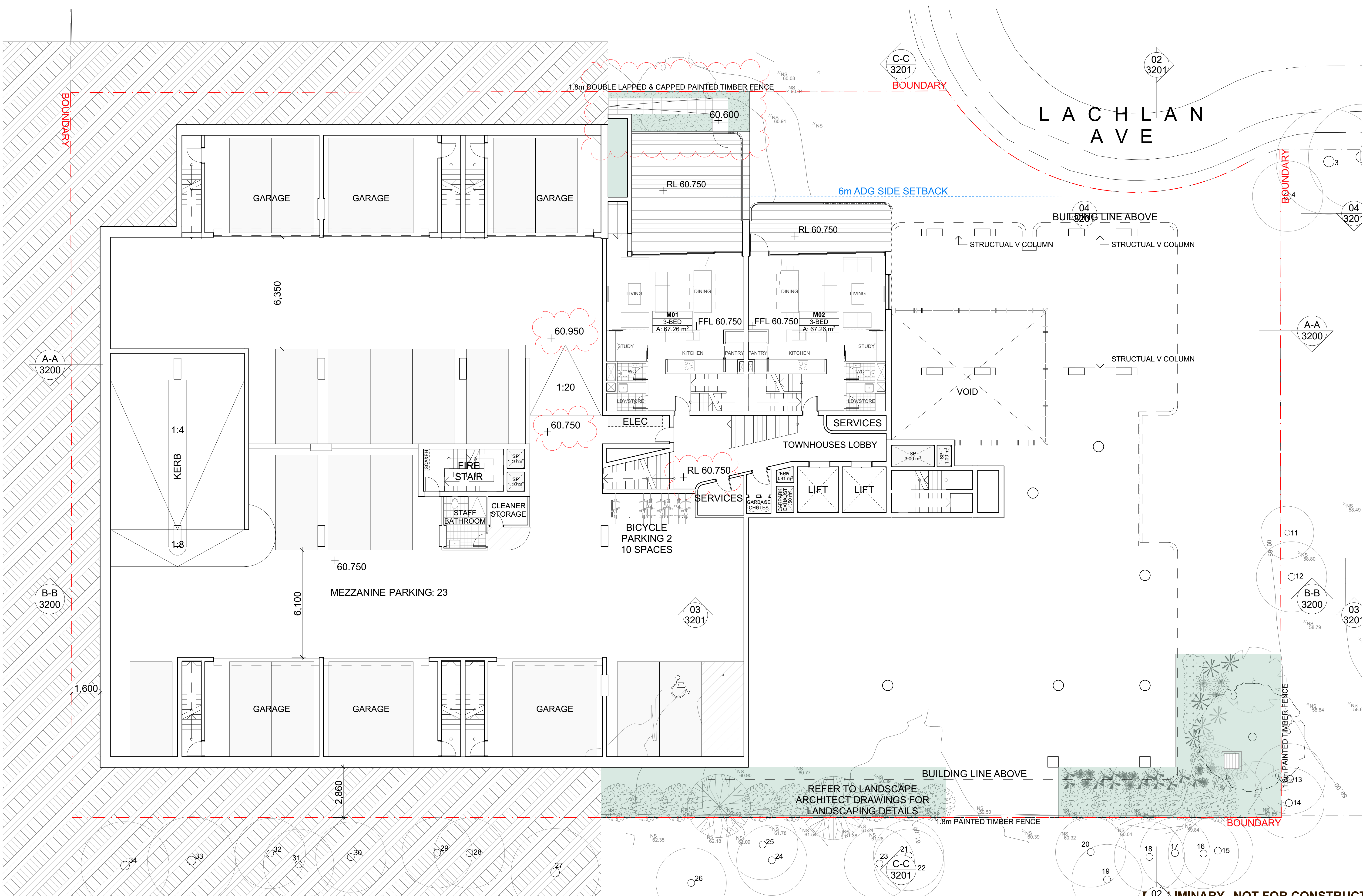












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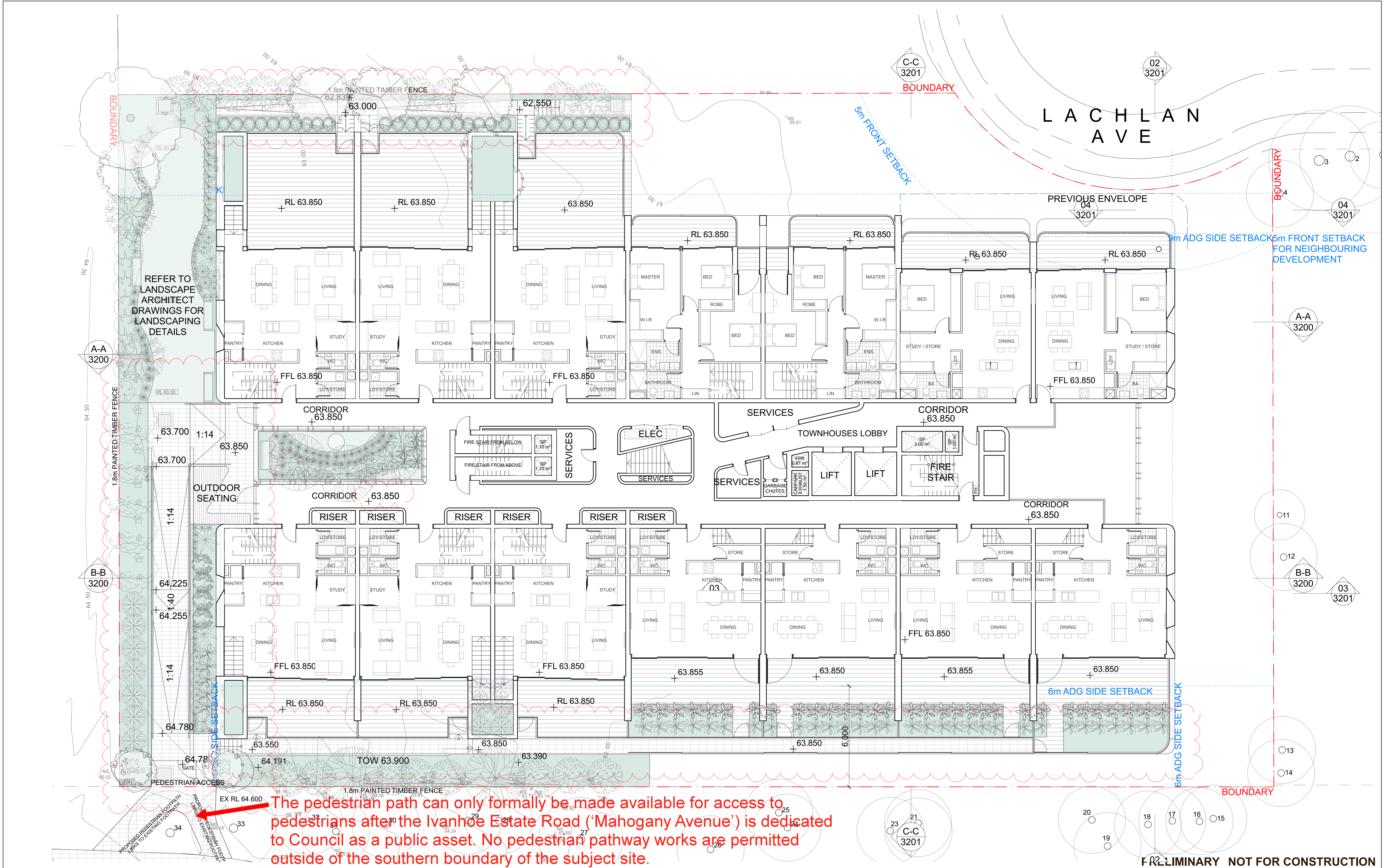
NOMINATED ARCHITECT: SIMON HANSON # 6739  
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LEGEND:

REV	DATE	COMMENTS
01	16/09/2021	
02	16/09/2022	
03	22/08/2022	

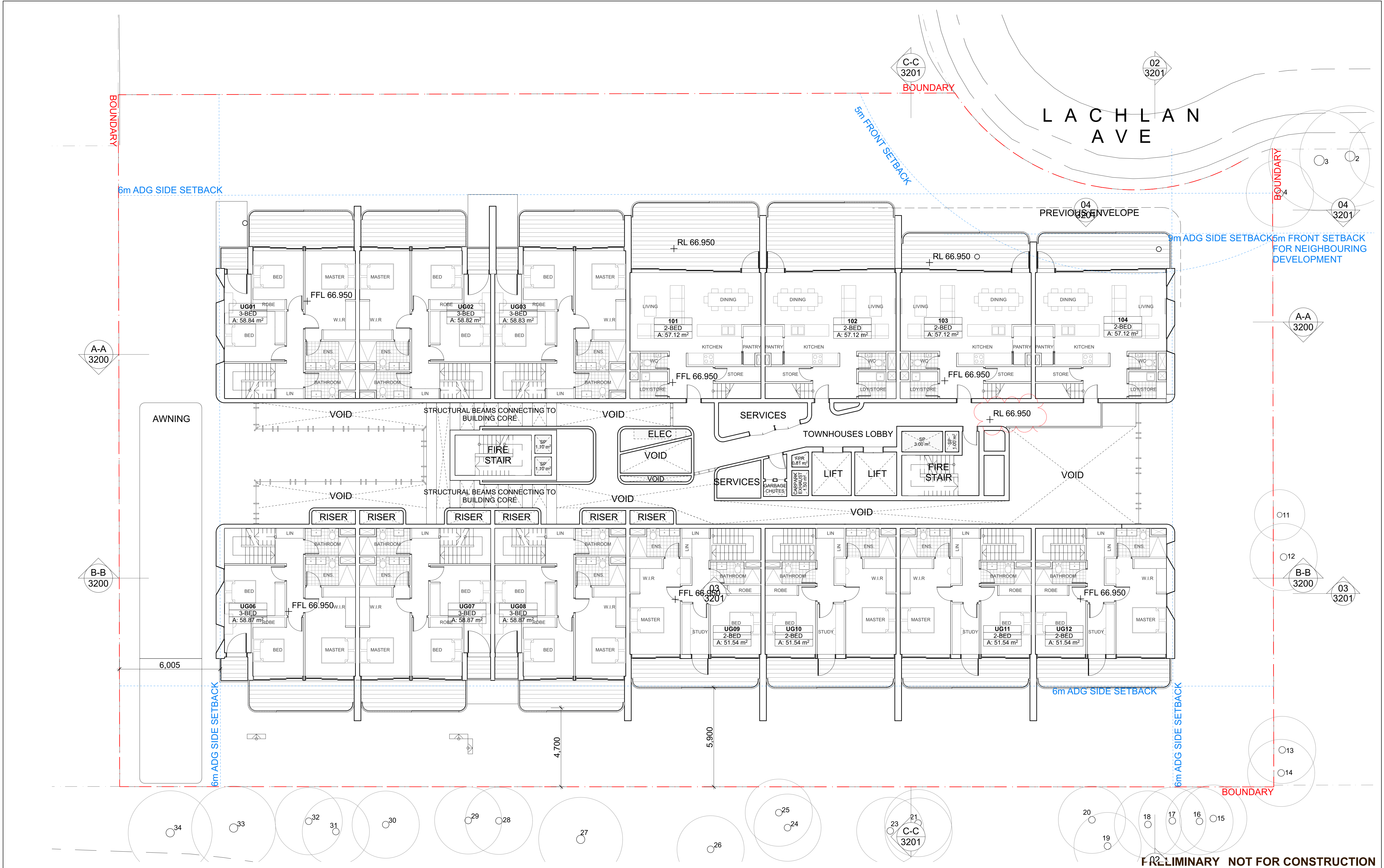
1-3 LACHLAN AVENUE, MACQUARIE PARK				PROJECT No: 17143	
STAGE:		DRAWING TITLE:		DRAWING No:	
DEVELOPMENT APPLICATION		MEZZANINE FLOOR PLAN		DA 2101	
SCALE @ A1:		CLIENT: ECOWORLD INTERNATIONAL		REVISION:	
1:100		DRAWN: BSRH		03	
NORTH:		CHECKED: BSRH		APPROVED: LY	
		DATE: 25/08/2022			





The pedestrian path can only formally be made available for access to pedestrians after the Ivanhoe Estate Road ('Mahogany Avenue') is dedicated to Council as a public asset. No pedestrian pathway works are permitted outside of the southern boundary of the subject site.



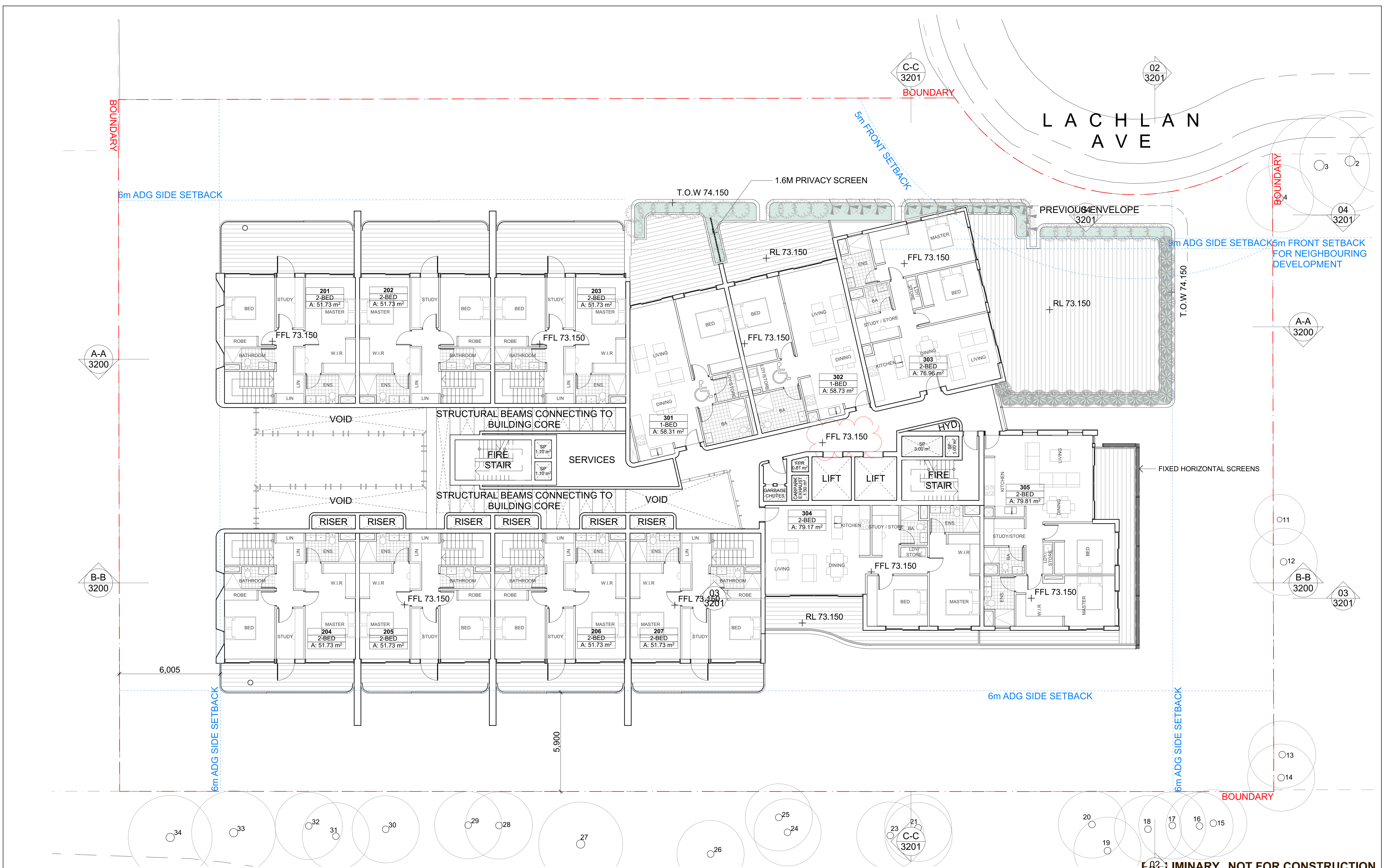


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LEGEND:

REV	DATE	COMMENTS
01	16/09/2021	
02	16/05/2022	
03	22/08/2022	

1-3 LACHLAN AVENUE, MACQUARIE PARK

PROJECT No: 17143

STAGE:

DEVELOPMENT APPLICATION

SCALE @ A1:

1:100

NORTH:

DRAWING TITLE:

LEVEL 3 FLOOR PLAN

CLIENT: ECOWORLD INTERNATIONAL

DRAWN: BSRH

DATE: 25/08/2022

CHECKED: BSRH

APPROVED: LY

DRAWING No:

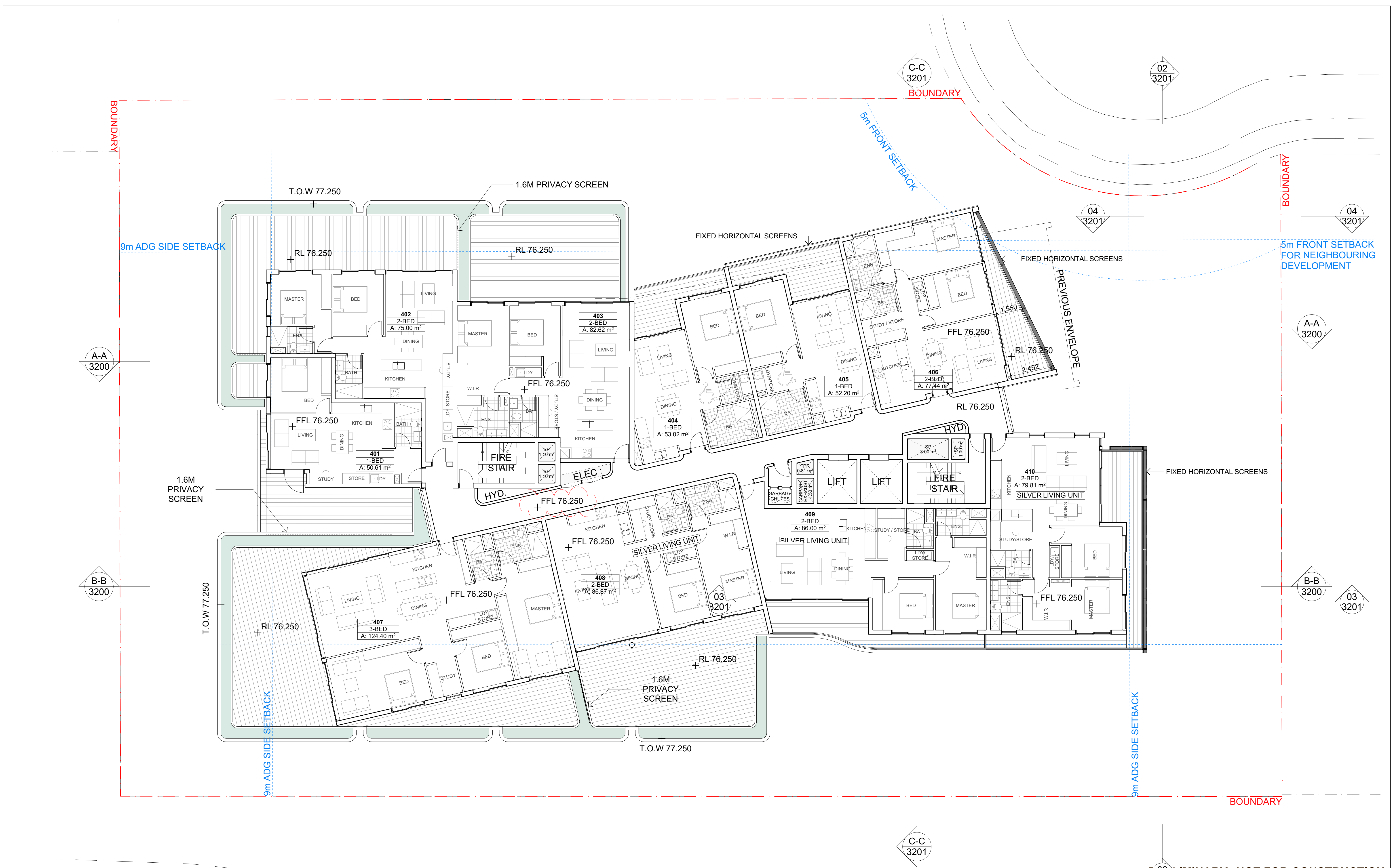
DA 2105

REVISION:

03

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<b>BUREAU SRH   architecture</b> STUDIO 3   2 VERONA STREET   PADDINGTON   NSW   2021   AUSTRALIA tel +61 2 9380 4666   admin@bureau.srh.com			<b>1-3 LACHLAN AVENUE, MACQUARIE PARK</b>		PROJECT No: <b>17143</b>
NOMINATED ARCHITECT: SIMON HANSON # 6739 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL & CONSULTANT DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS OR SKETCHES AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT   NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK   MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE SPECIFICATION, CURRENT SAA CODES, BUILDING REGULATIONS & THE REQUIREMENTS OF ANY OTHER RELEVANT STATUTORY AUTHORITIES   CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES   USE FIGURED DIMENSIONS ONLY   COPYRIGHT, ALL RIGHT RESERVED   THIS DRAWING IS COPYRIGHT AND CONFIDENTIAL APART FROM ANY FAIR DEALINGS AS PERMITTED UNDER COPYRIGHT & MAY NOT BE REPRODUCED BY ANY PERSON WITHOUT WRITTEN PERMISSION OF THE ABOVE COMPANY & IS NOT TO BE USED IN A MANNER PREJUDICIAL TO THE INTERESTS OF THAT COMPANY   THIS DRAWING AND ATTACHED SHEET REMAIN THE PROPERTY OF BUREAU SRH PTY LTD			STAGE: <b>DEVELOPMENT APPLICATION</b>		DRAWING TITLE: <b>LEVEL 4 FLOOR PLAN</b>
LEGEND:			SCALE @ A1: <b>1:100</b>		CLIENT: <b>ECOWORLD INTERNATIONAL</b>
			NORTH: 		DRAWN: <b>BSRH</b>
					CHECKED: <b>BSRH</b>
					DATE: <b>25/08/2022</b>
					APPROVED: <b>LY</b>
					REVISION: <b>03</b>













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LEVEL 8 IS SHOWN AS TYPICAL FLOOR PLAN FOR LEVEL 8 - 12

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LEGEND:

[illegible]

1-3 LACHLAN AVENUE, MACQUARIE PARK	PROJECT No: 17143
------------------------------------	-------------------

STAGE:

**DEVELOPMENT  
APPLICATION**

SCALE @ A1:	NORTH:
<b>1:100</b>	

DRAWING TITLE:	DRAWING No:
<b>LEVEL 9 - LEVEL 12</b>	<b>DA 2111</b>
<b>TYPICAL FLOOR PLAN</b>	

<b>TYPICAL FLOOR PLAN</b>		REVISION:  <div style="font-size: 2em; font-weight: bold;">02</div>
CLIENT: <b>ECOWORLD INTERNATIONAL</b>		
DRAWN: <b>BSRH</b>	CHECKED: <b>BSRH</b>	
DATE: <b>25/08/2022</b>	APPROVED: <b>LY</b>	

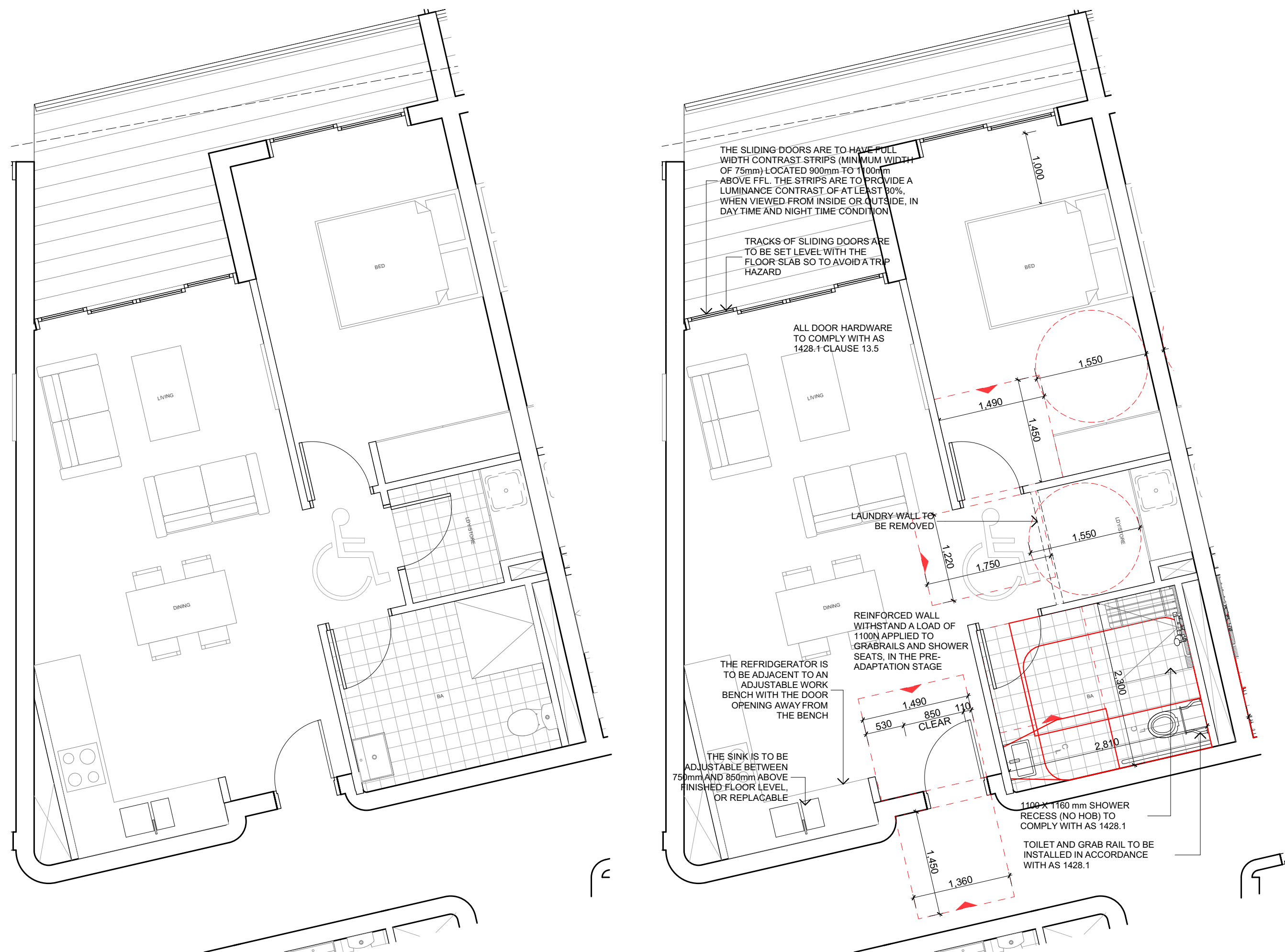










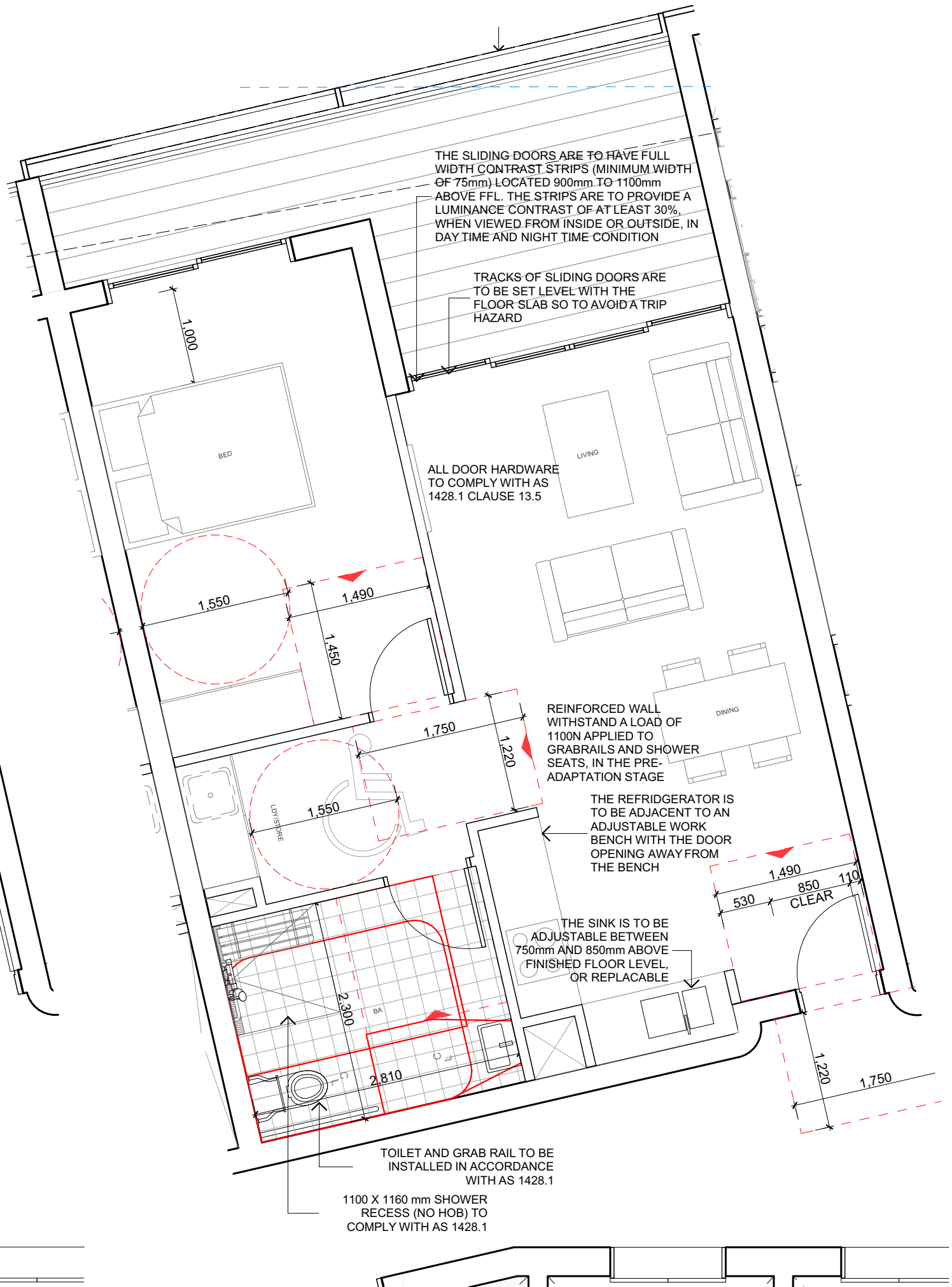


01 PRE-ADAPTABLE UNIT LAYOUT 1:50  
UNIT 301, 404, 504, 604, 704, 803, 903, 1003, 1103, 1203 - 10 UNITS IN TOTAL

02 POST-ADAPTABLE UNIT LAYOUT 1:50



03 PRE-ADAPTABLE UNIT LAYOUT 1:50  
UNIT 302, 405, 505 - 3 UNITS IN TOTAL



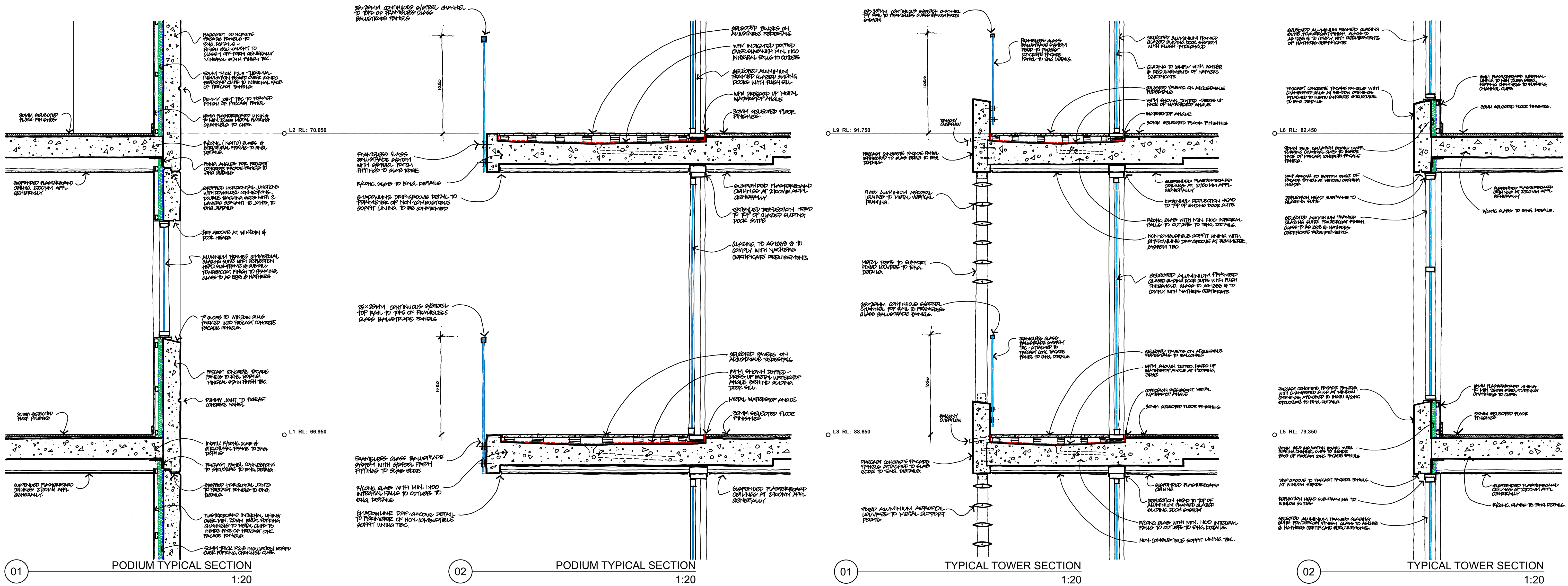
04 POST-ADAPTABLE UNIT LAYOUT 1:50



The 1:20 detail plans shall incorporate the proposed 'timber look balustrade.'

Downpipe locations shall be integrated into walls and not left exposed.

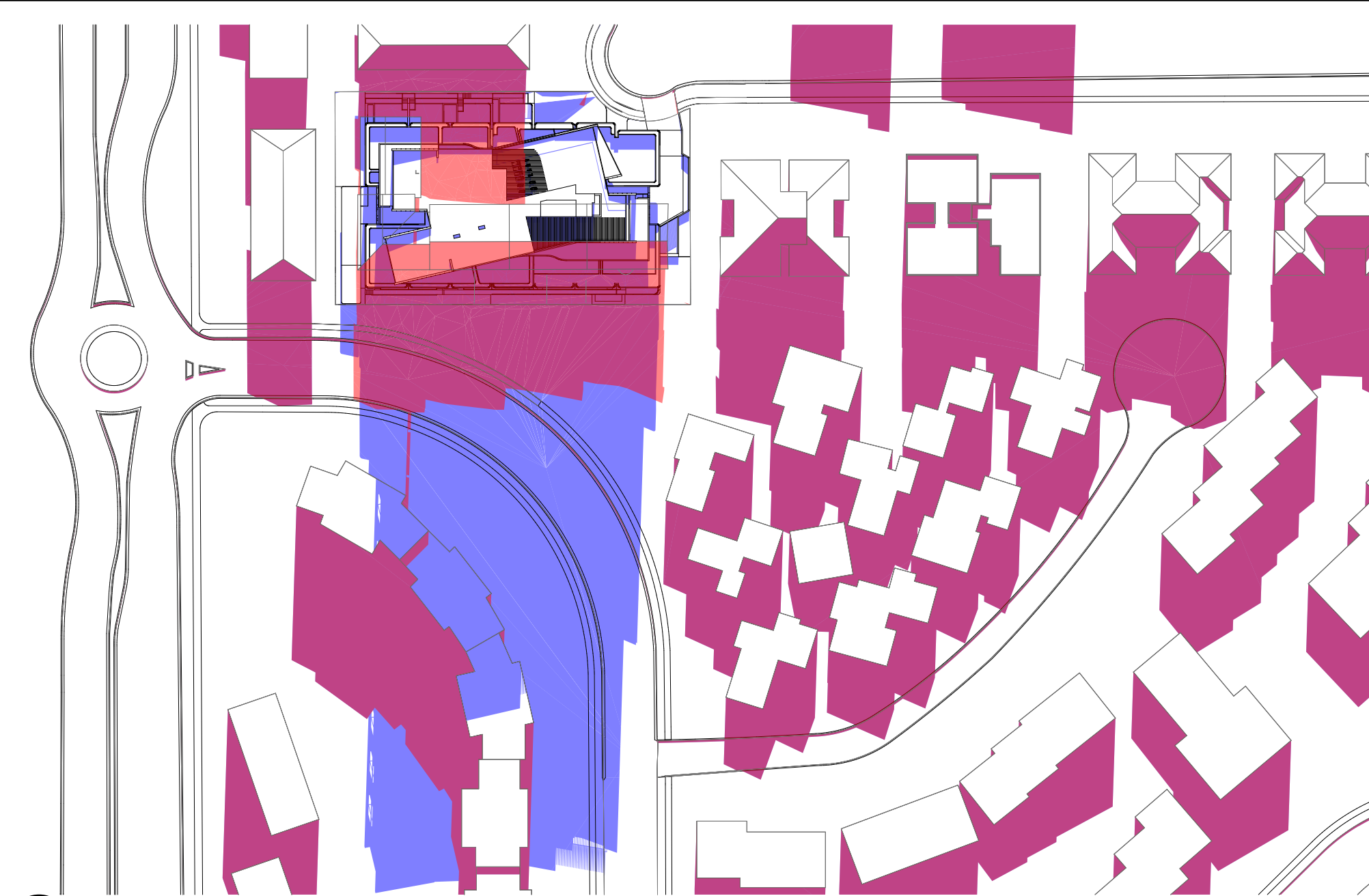
Air conditioning condenser units located on balconies shall be screened and treated for noise attenuation.



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STUDIO 3   2 VERONA STREET   PADDINGTON   NSW   2021   AUSTRALIA tel +61 2 9380 4666   admin@bureau.srh.com		STAGE: <b>DEVELOPMENT APPLICATION</b>		DRAWING No: <b>DA 2301</b>
NOMINATED ARCHITECT: SIMON HANSON # 6739 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL & CONSULTANT DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS OR SKETCHES AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT   NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK   MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE SPECIFICATION, CURRENT SAA CODES, BUILDING REGULATIONS & THE REQUIREMENTS OF ANY OTHER RELEVANT STATUTORY AUTHORITIES   CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES   USE FIGURED DIMENSIONS ONLY   COPYRIGHT, ALL RIGHT RESERVED   THIS DRAWING IS COPYRIGHT AND CONFIDENTIAL APART FROM ANY FAIR DEALINGS AS PERMITTED UNDER COPYRIGHT & MAY NOT BE REPRODUCED BY ANY PERSON WITHOUT WRITTEN PERMISSION OF THE ABOVE COMPANY & IS NOT TO BE USED IN ANY MANNER PREJUDICIAL TO THE INTERESTS OF THAT COMPANY   THIS DRAWING AND ATTACHED SHEET REMAIN THE PROPERTY OF BUREAU SRH PTY LTD		DRAWING TITLE: <b>TYPICAL DETAILS</b>		REVISION: <b>01</b>
LEGEND:		SCALE @ A1: <b>1:1</b>	NORTH: 	CLIENT: <b>ECOWORLD INTERNATIONAL</b> DRAWN: <b>BSRH</b> DATE: <b>25/08/2022</b> CHECKED: <b>BSRH</b> APPROVED: <b>LY</b>

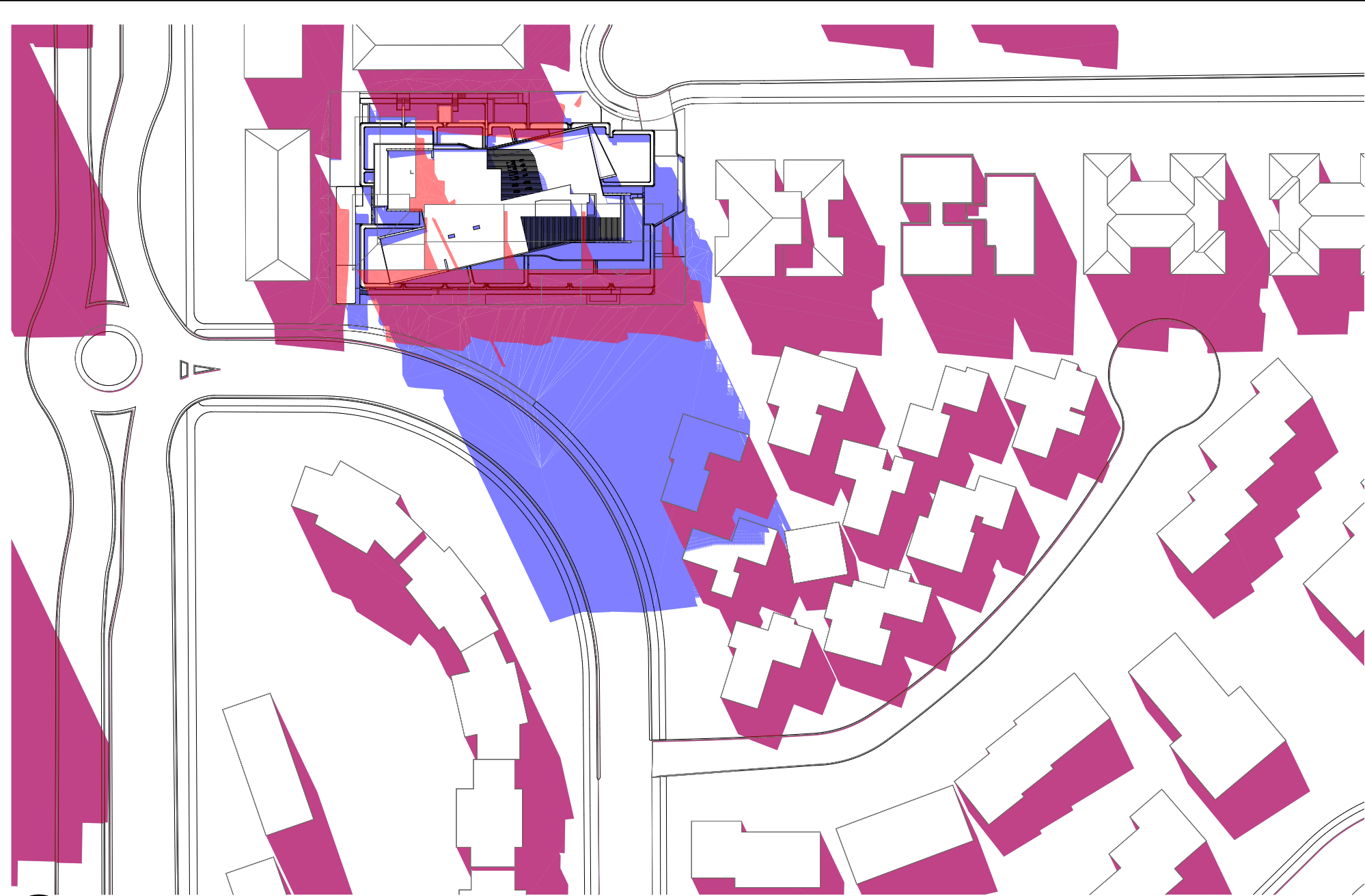




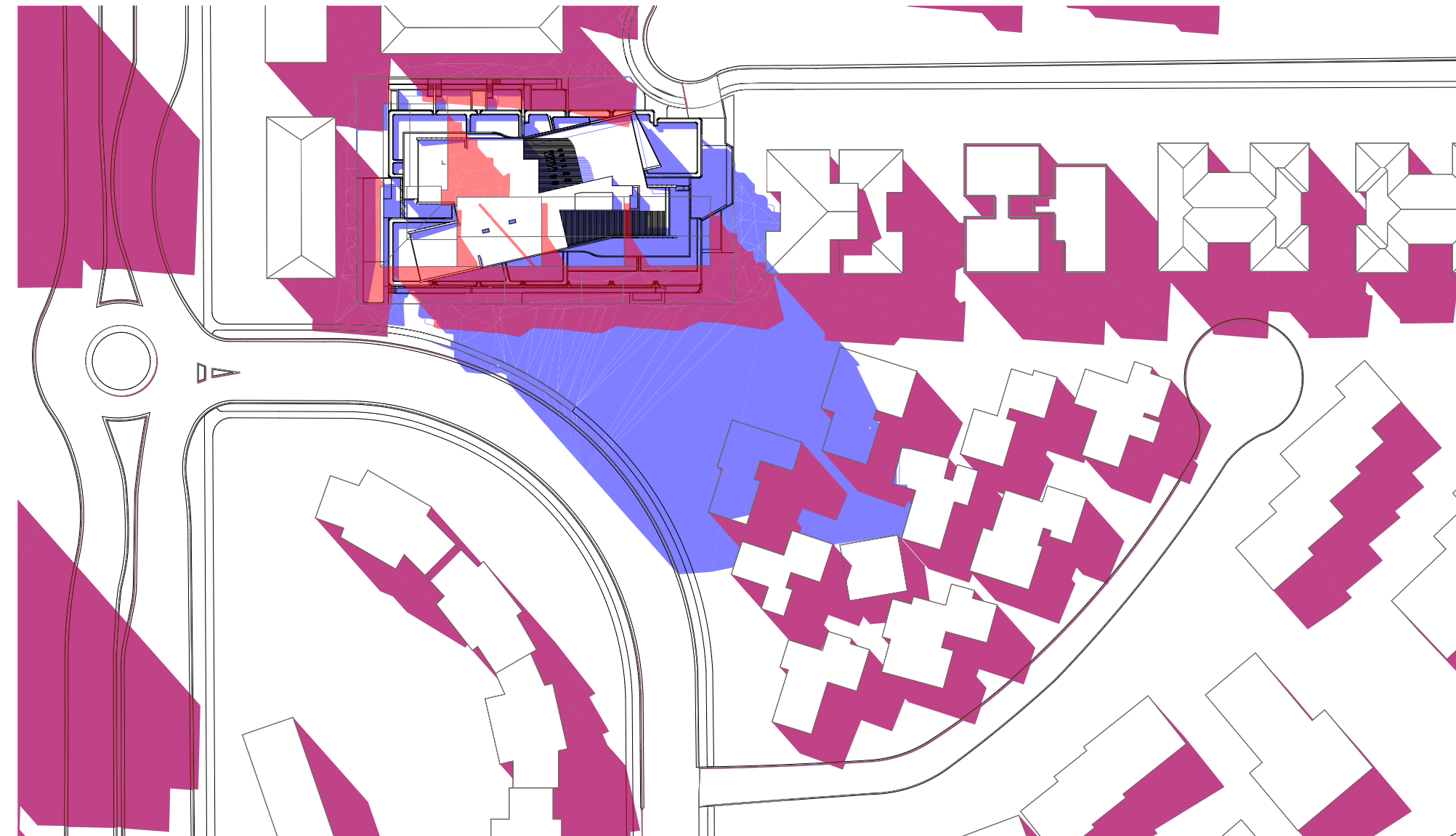
01 SHADOW DIAGRAM JUN 21 - 09AM  
1:1000



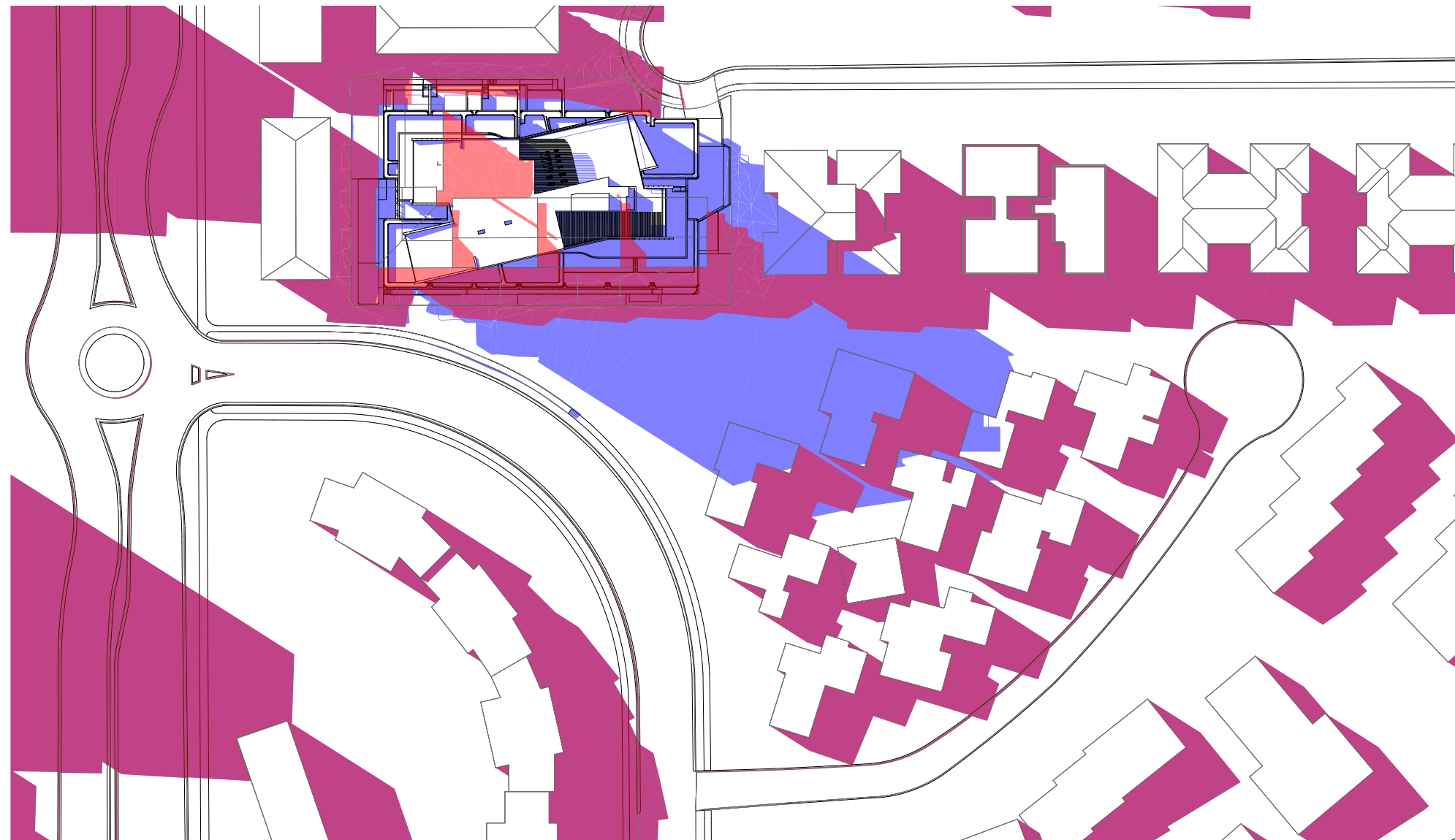
02 SHADOW DIAGRAM JUN 21 - 10AM  
1:1000



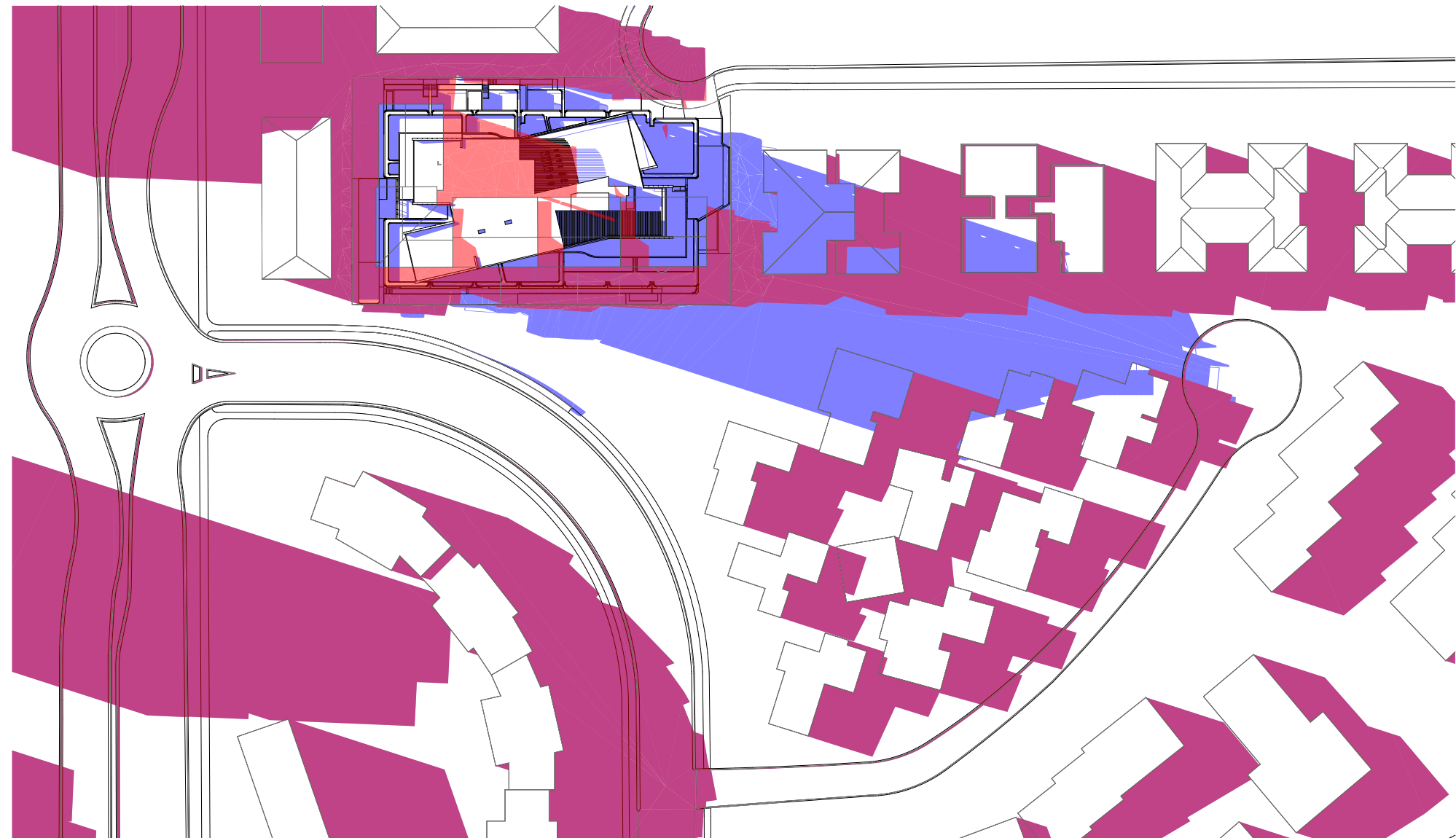
03 SHADOW DIAGRAM JUN 21 - 11AM  
1:1000



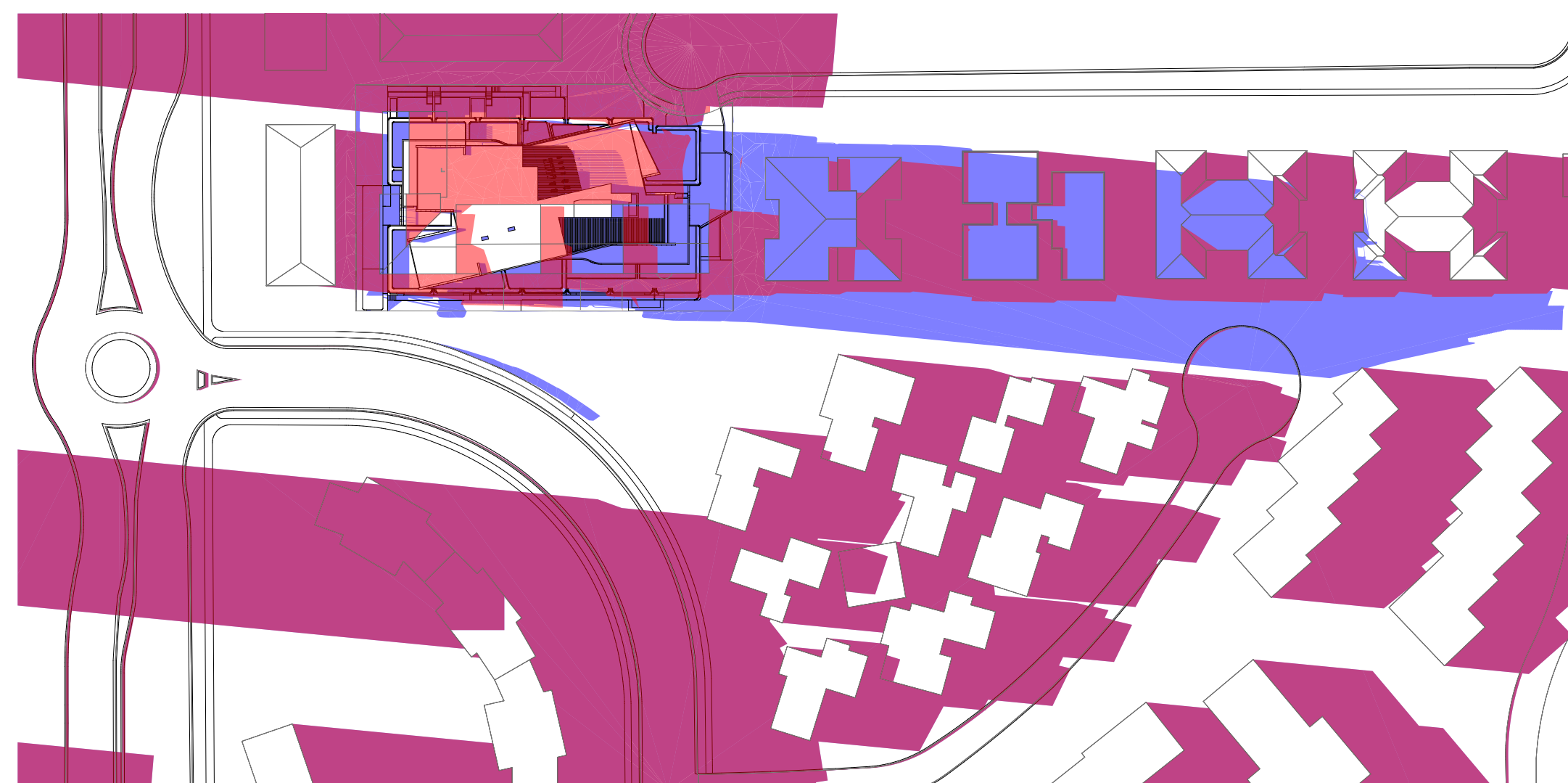
04 SHADOW DIAGRAM JUN 21 - 12PM  
1:1000



05 SHADOW DIAGRAM JUN 21 - 1PM  
1:1000



06 SHADOW DIAGRAM JUN 21 - 2PM  
1:1000



07 SHADOW DIAGRAM JUN 21 - 3PM  
1:1000

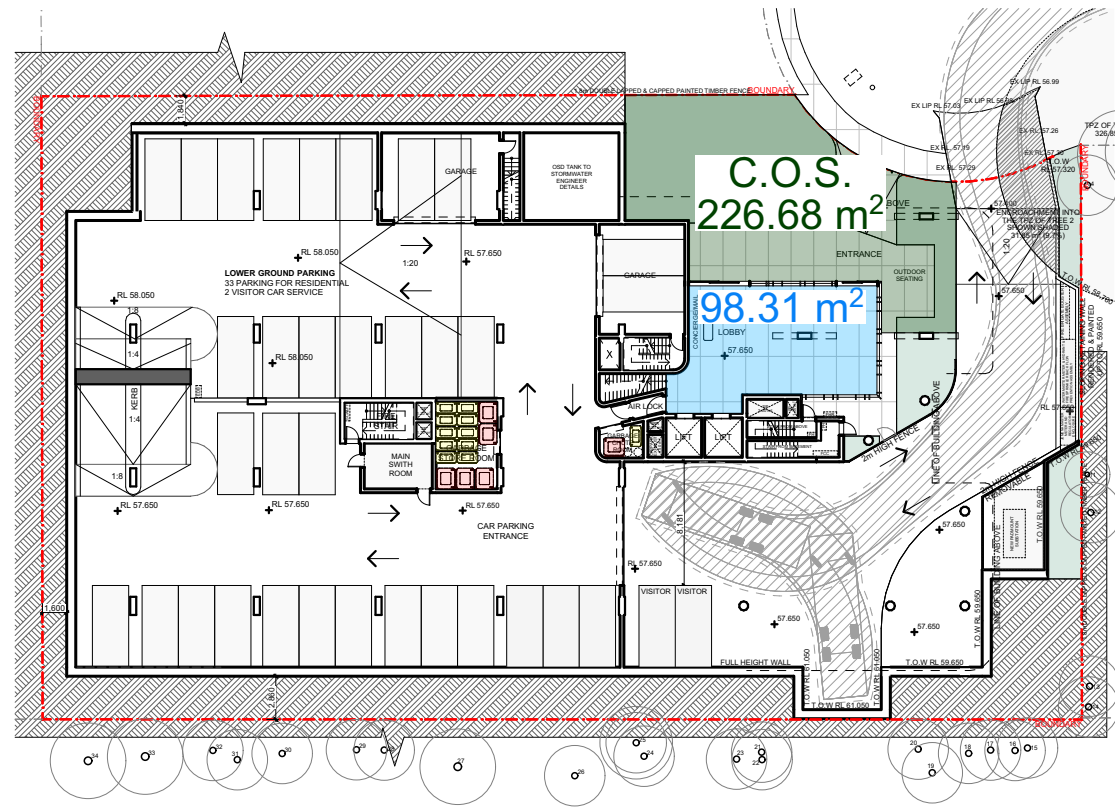
LEGEND:

- PROPOSED SHADOW
- EXISTING SHADOW

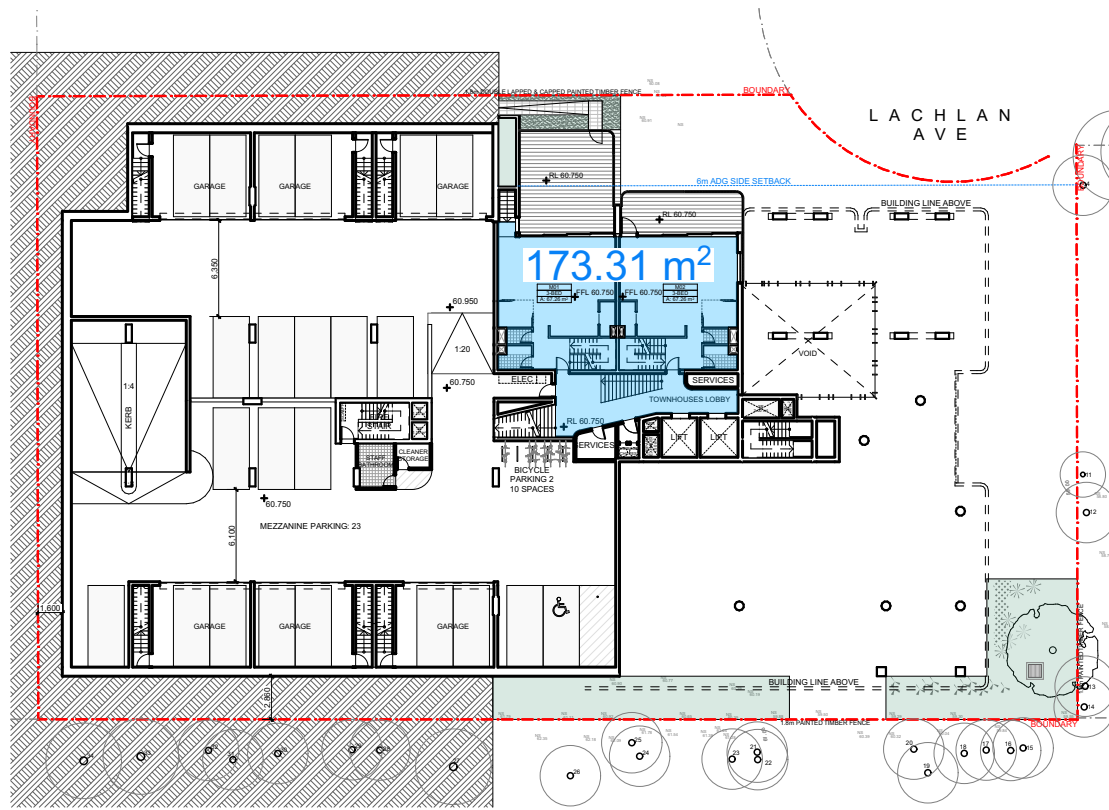
REV	DATE	COMMENTS
01	10/09/2021	
02	16/05/2022	
03	22/05/2022	

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1-3 LACHLAN AVENUE, MACQUARIE PARK		PROJECT No: 17143	
STAGE: <b>DEVELOPMENT APPLICATION</b>		DRAWING TITLE: <b>SHADOW DIAGRAMS</b>	
SCALE @ A1: <b>1:1000</b>		DRAWING No: <b>DA 2400</b>	
NORTH: 		REVISION: <b>03</b>	
CLIENT: <b>ECOWORLD INTERNATIONAL</b>		DATE: <b>25/08/2022</b>	
DRAWN: <b>BSRH</b>		CHECKED: <b>BSRH</b>	
DATE: <b>25/08/2022</b>		APPROVED: <b>LY</b>	

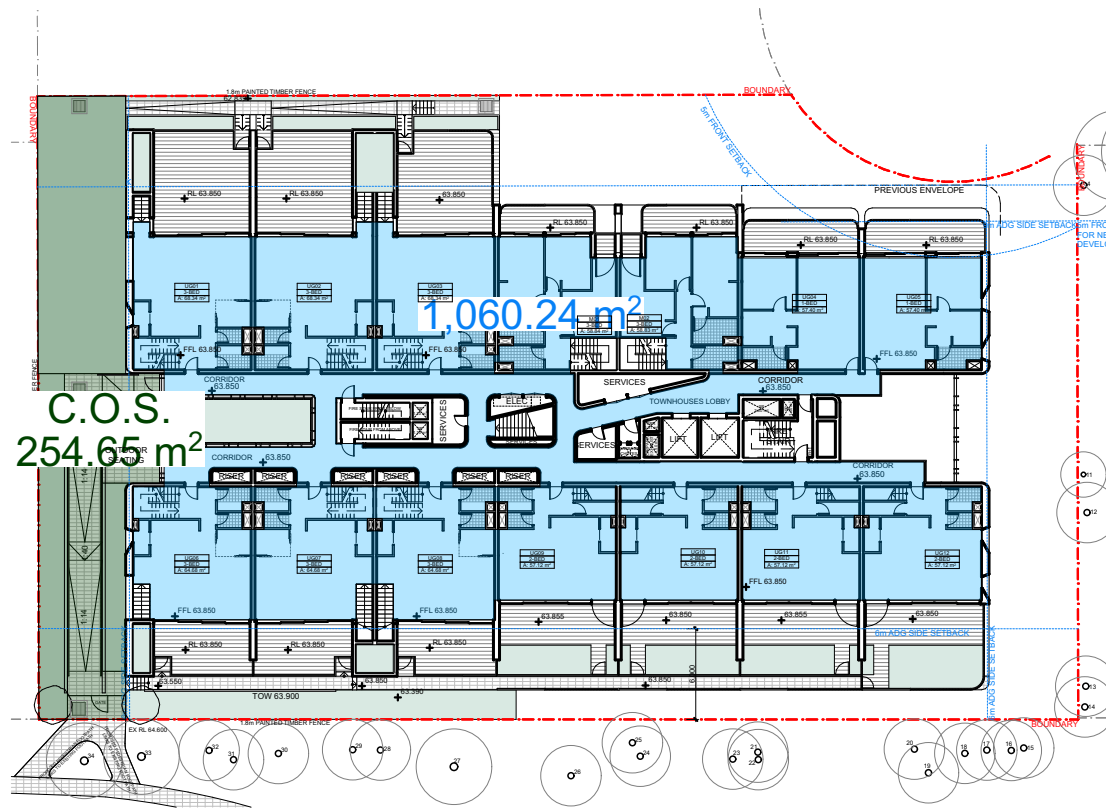




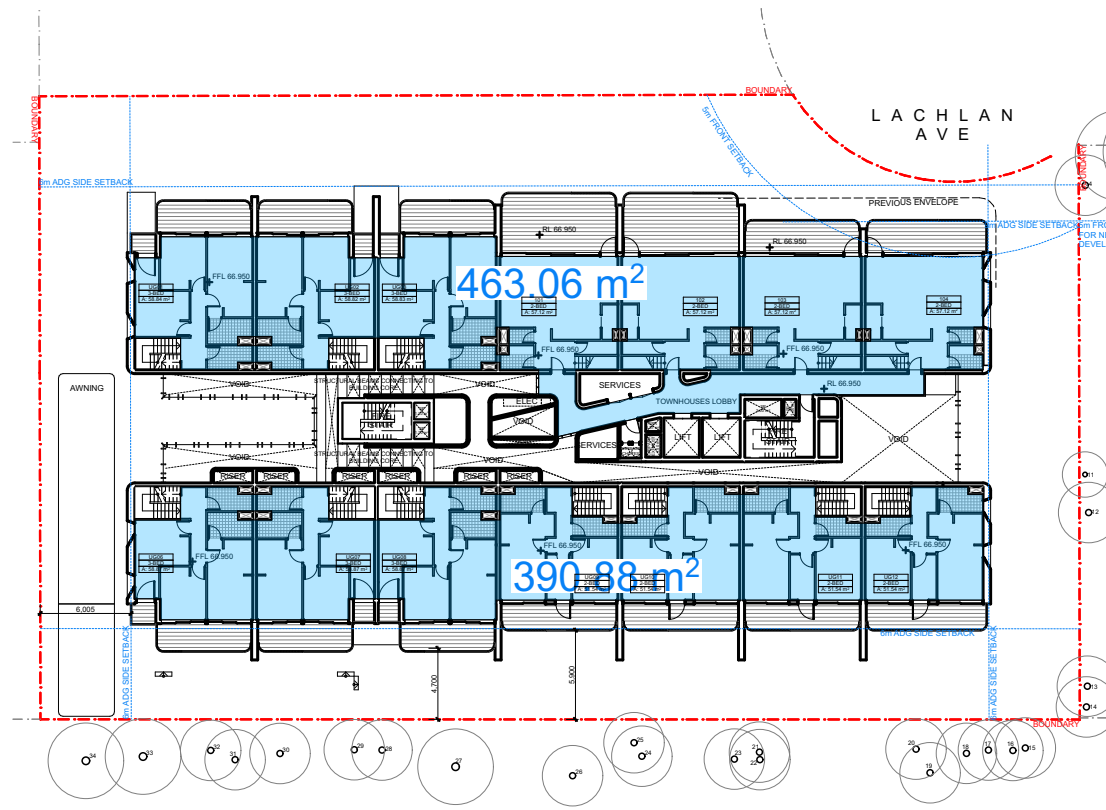
LOWER GROUND GFA



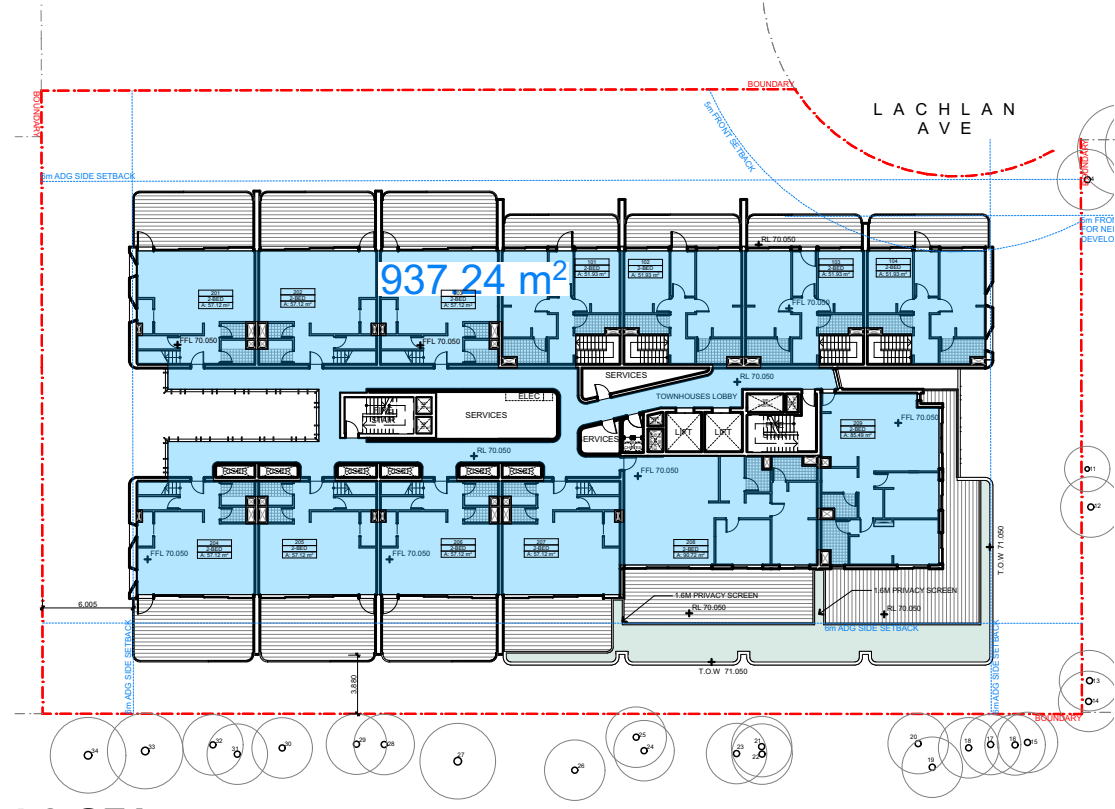
MEZZANINE GFA



UPPER GROUND GFA



L1 GFA



L2 GFA



L3 GFA



L4 GFA



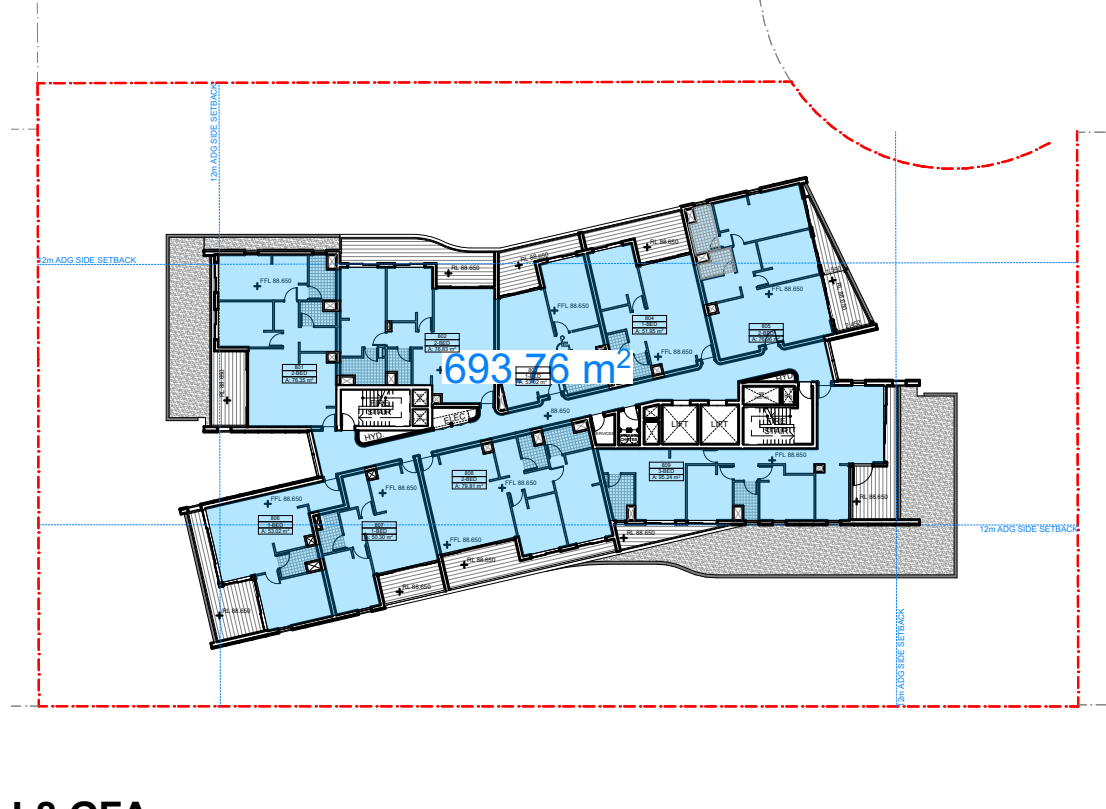
L5 GFA



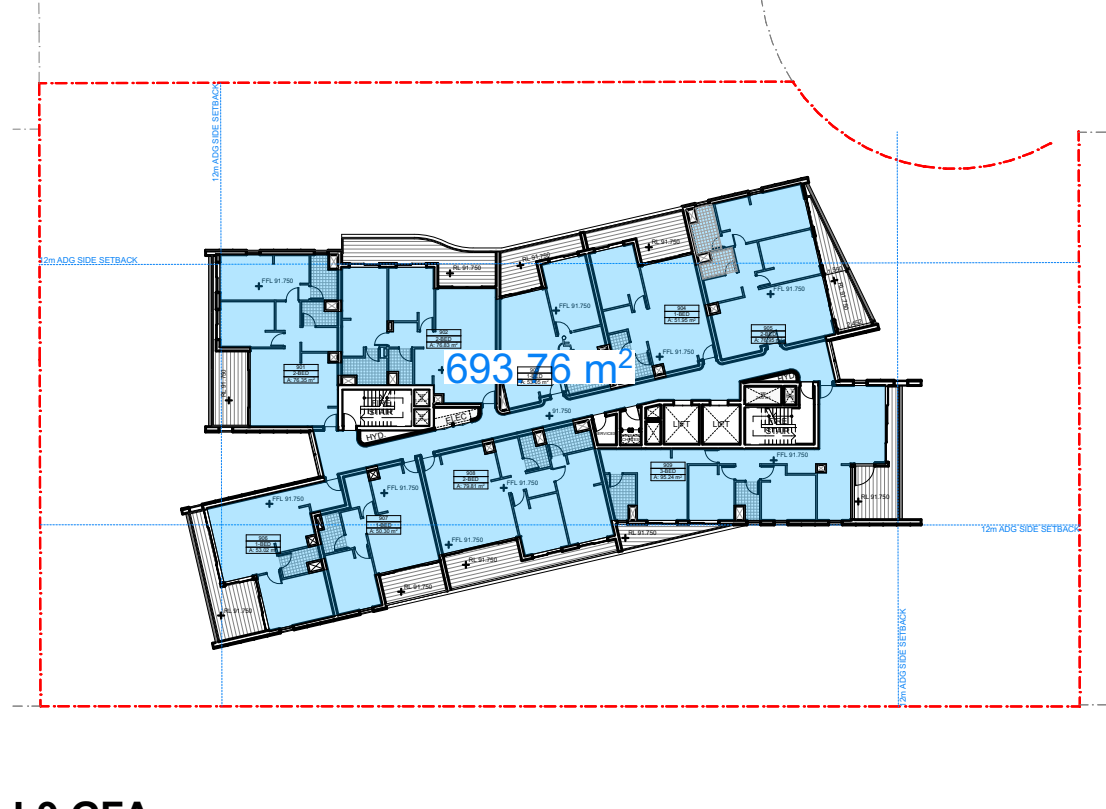
L6 GFA



L7 GFA



L8 GFA



L9 GFA



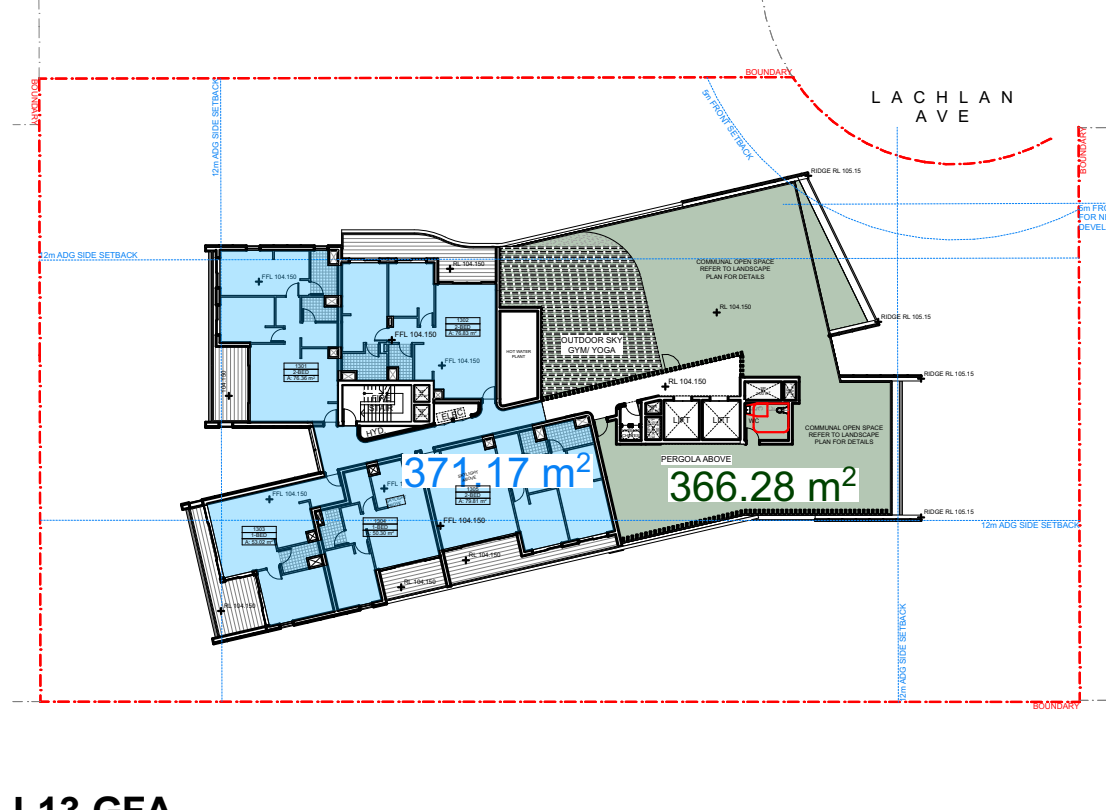
L10 GFA



L11 GFA



L12 GFA



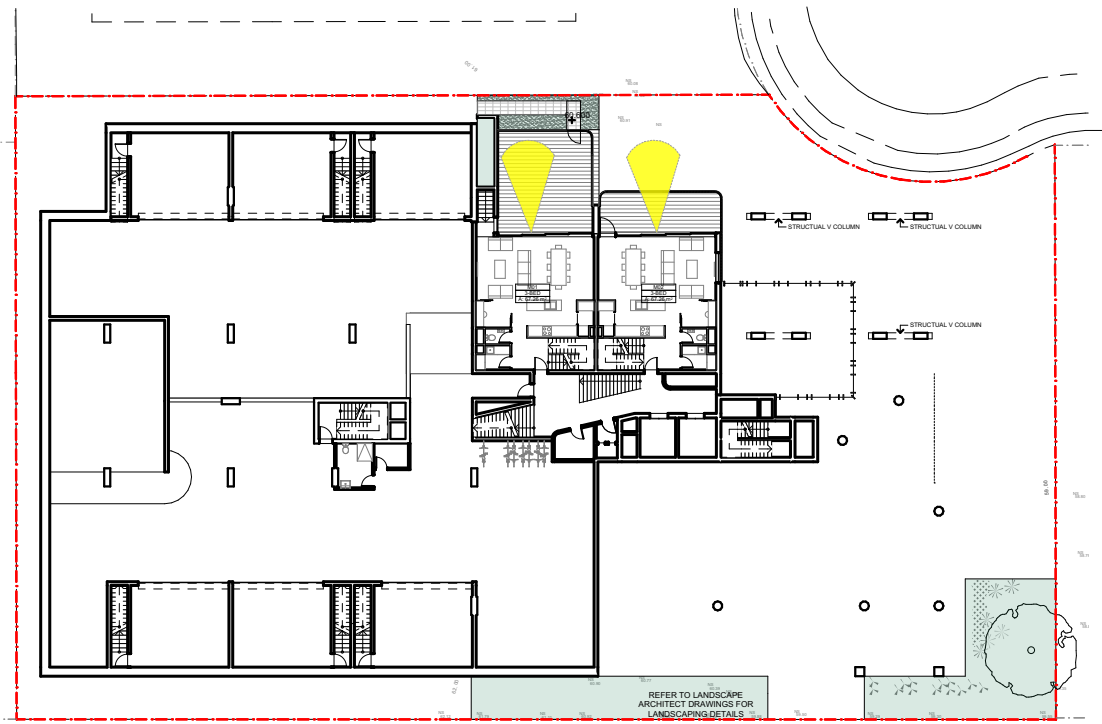
L13 GFA

UNIT SCHEDULE LEVELS					BEDROOMS		UNIT INTERNAL AREA (sqm)		BALCONY AREA (sqm)	
01. MEZZANINE & UPPER GROUND					M01	3-BED	126.10		56.71	
02. UPPER GROUND & LEVEL 1					M02	3-BED	126.09		56.47	
					UG01	3-BED	133.87		59.60	
					UG02	3-BED	133.85		59.17	
					UG03	3-BED	133.64		59.14	
					UG04	1-BED	57.40		16.71	
					UG05	1-BED	67.40		17.53	
					UG06	3-BED	129.58		36.61	
					UG07	3-BED	129.57		36.05	
					UG08	3-BED	129.57		36.05	
					UG09	2-BED	108.66		48.47	
					UG10	2-BED	108.66		48.47	
					UG11	2-BED	108.66		48.47	
03. LEVEL 1 & LEVEL 2					101	2-BED	109.05	47.20		
					102	2-BED	109.05	47.20		
					103	2-BED	109.05	47.20		
					104	2-BED	109.05	35.39		
04. LEVEL 2 & LEVEL 3					201	2-BED	108.85	54.79		
					202	2-BED	108.85	52.23		
					203	2-BED	108.85	52.23		
					204	2-BED	108.85	47.98		
					205	2-BED	108.85	45.72		
					206	2-BED	108.85	45.72		
					207	2-BED	108.85	36.38		
05. LEVEL 2					208	2-BED	90.72	45.04		
					209	2-BED	85.49	58.14		
06. LEVEL 3					301	1-BED	58.31	22.25		
					302	1-BED	58.31	19.07		
					303	2-BED	76.96	35.39		
					304	2-BED	76.96	18.28		
					305	2-BED	79.81	25.51		
07. LEVEL 4					401	1-BED	50.61	28.82		
					402	2-BED	75.00	52.35		
					403	2-BED	75.00	44.56		
					404	1-BED	53.02	11.23		
					405	1-BED	52.20	13.89		
					406	2-BED	77.44	12.90		
					407	3-BED	124.40	51.77		
					408	2-BED	86.87	57.91		
					409	2-BED	86.00	19.51		
					410	2-BED	79.81	25.51		
08. LEVEL 5					501	1-BED	51.54	9.40		
					502	1-BED	54.77	11.32		
					503	2-BED	76.83	20.36		
					504	2-BED	76.83	20.36		
					505	1-BED	53.02	11.23		
					506	1-BED	52.18	13.89		
					507	2-BED	76.97	12.90		
					508	2-BED	109.83	22.07		
					509	2-BED	79.81	18.12		
					510	2-BED	86.47	19.32		
					511	2-BED	79.81	27.22		
09. LEVEL 6					601	1-BED	51.54	9.40		
					602	1-BED	54.77	11.32		
					603	2-BED	76.83	20.36		
					604	2-BED	76.83	20.36		
					605	1-BED	51.95	13.89		
					606	1-BED	51.95	12.90		
					607	3-BED	109.83	22.07		
					608	2-BED	79.81	18.12		
					609	2-BED	86.00	19.32		
					610	2-BED	79.81	25.51		
10. LEVEL 7					701	1-BED	51.54	9.40		
					702	1-BED	54.76	11.32		
					703	2-BED	76.83	20.36		
					704	1-BED	53.02	11.24		
					705	1-BED	51.95	13.89		
					706	2-BED	76.95	12.90		
					707	1-BED	53.02	16.52		
					708	1-BED	50.30	8.30		
					709	2-BED	79.81	18.12		
					710	2-BED	86.47	19.32		
					711	2-BED	79.81	25.51		
11. LEVEL 8					801	2-BED	76.35	13.91		
					802	2-BED	76.83	20.36		
					803	1-BED	53.02	11.23		
					804	1-BED	51.95	13.89		
					805	2-BED	76.96	12.90		
					806	1-BED	53.02	16.52		
					807	1-BED	50.30	8.30		
					808	2-BED	79.81	17.09		
					809	3-BED	95.24	21.59		
12. LEVEL 9					901	2-BED	76.35	13.91		
					902	2-BED	76.83	20.36		
					903	1-BED	53.05	11.23		
					904	1-BED	51.95	13.89		
					905	2-BED	76.97	12.90		
					906	1-BED	53.02	16.52		
					907	1-BED	50.30	8.30		
					908	2-BED	79.81	17.09		
					909	3-BED	95.24	21.59		
13. LEVEL 10					1001	2-BED	76.35	13.91		
					1002	2-BED	76.83	20.36		
					1003	1-BED	53.05	11.23		
					1004	1-BED	51.95	13.89		
					1005	2-BED	76.95	12.90		
					1006	1-BED	53.03	16.52		
					1007	1-BED	50.30	8.30		
					1008	2-BED	79.81	17.09		
					1009	3-BED	95.24	21.59		
14. LEVEL 11					1101	2-BED	76.35	13.91		
					1102	2-BED	76.83	20.36		
					1103	1-BED	53.05	11.23		
					1104	1-BED	51.95	13.89		
					1105	2-BED	76.95	12.90		
					1106	1-BED	53.03	16.52		
					1107	1-BED	50.30	8.30		
					1108	2-BED	79.81	17.09		
					1109	3-BED	95.24	21.59		
15. LEVEL 12					1201	2-BED	76.36	13.91		
					1202	2-BED	76.83	20.36		
					1203	1-BED	53.05	11.23		
					1204	1-BED	51.95	13.89		
					1205	2-BED	76.95	12.90		
					1206	1-BED	53.02	16.52		
					1207	1-BED	50.30	8.30		
					1208	2-BED	79.81	17.09		
					1209	3-BED	95.24	21.59		
16. LEVEL 13					1301	2-BED	76.36	13.91		
					1302	2-BED	76.83	20.36		
					1303	1-BED	53.02	16.52		
					1304	1-BED	50.30	8.30		
					1305	2-BED	79.81	17.09		
					9,646.66 m²		3,007.14 m²			

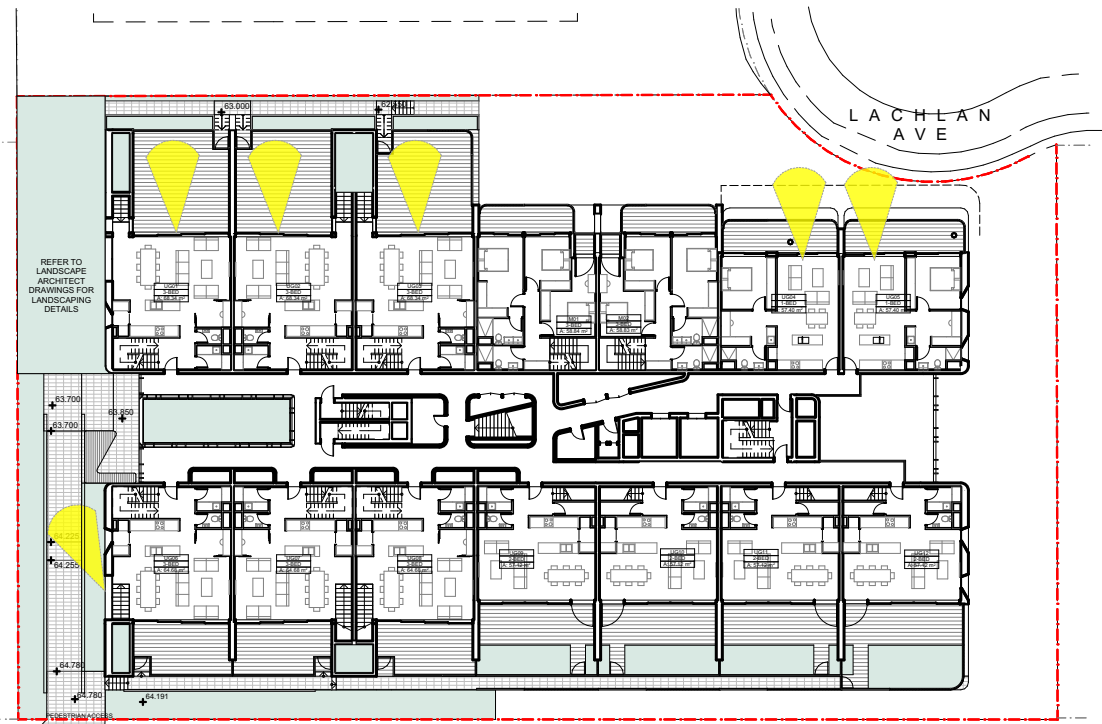
CONTROL TABLE			
SITE AREA 2751m²			
UNIT MIX			
PRIVATE			
		1BED	44 (36%)
		2BED	63 (51%)
		3BED	16 (13%)
		SUBTOTAL	123
		REQUIRED	PROPOSED
FSR	4:1 (11,004m²)	4:1 (11,003.84m²)	
HEIGHT	45m	47.83m	
COMMUNAL OPEN SPACE	25% OF SITE	30.8% OF SITE (847.61m²)	
DEEP SOIL	7% (193m²)	7.1% (195.63m²)	
SOLAR	70%	70.7% (87/123)	
VENTILATION	60% FOR FIRST 9 STOREY	64.4% (47/73)	
CAR PARKING	MAX 112	105 + 2 VISITORS	
BICYCLE PARKING	12	Min.15	

PRELIMINARY NOT FOR CONSTRUCTION

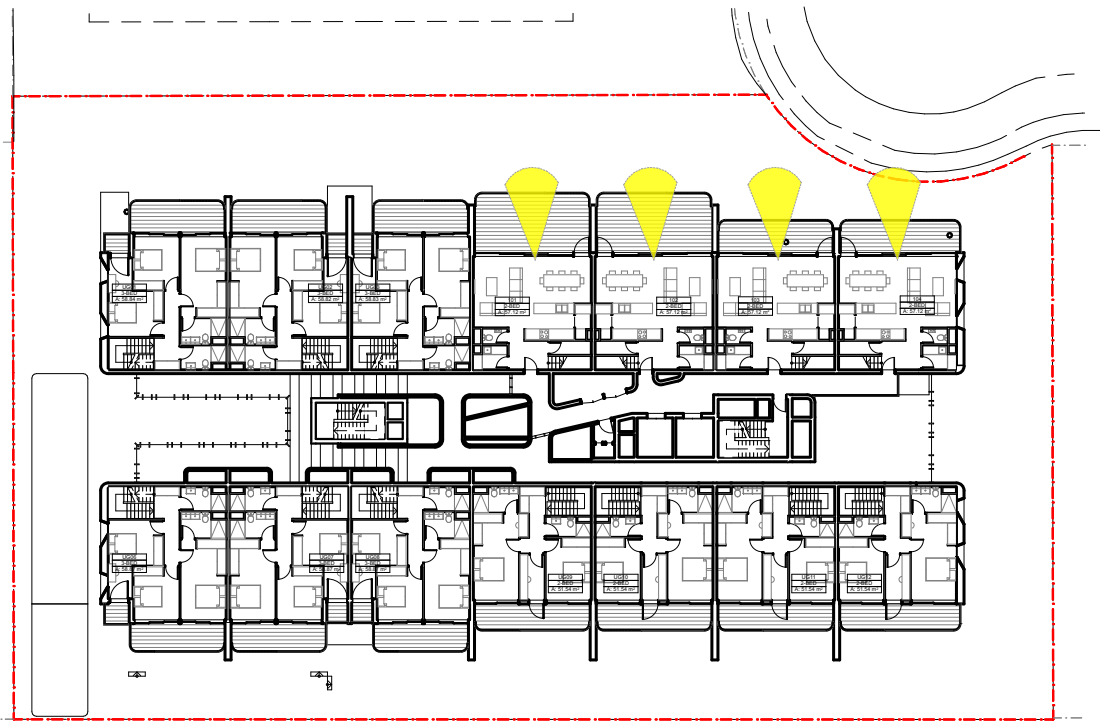




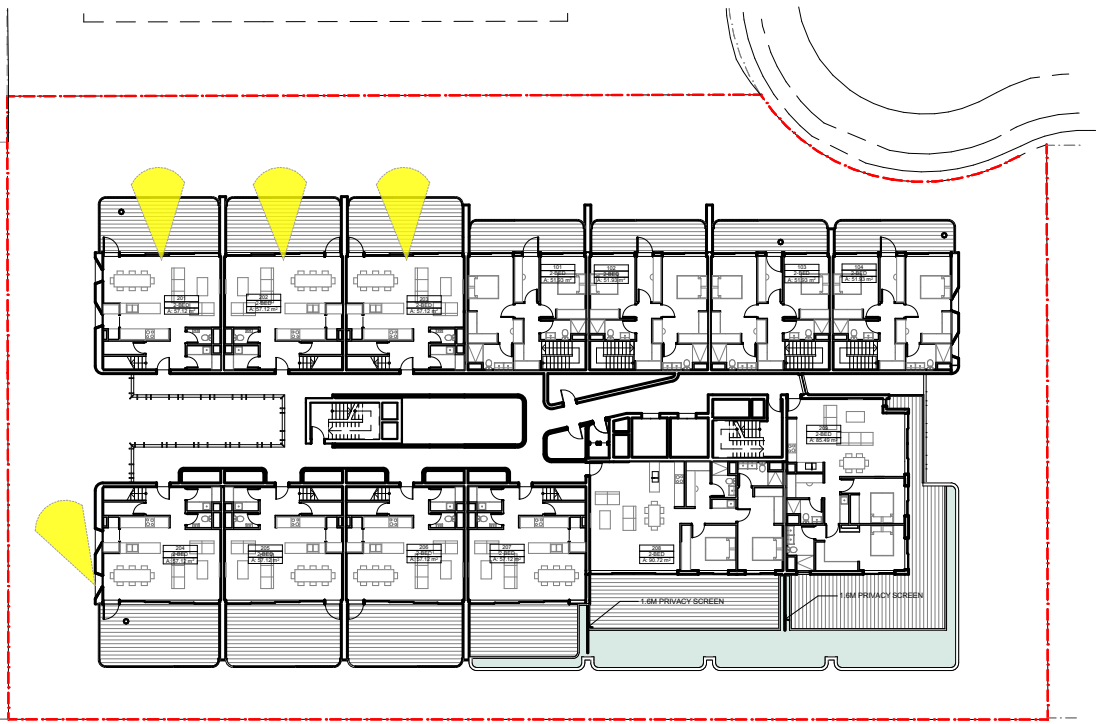
SOLAR ACCESS DIAGRAM - MEZZANINE



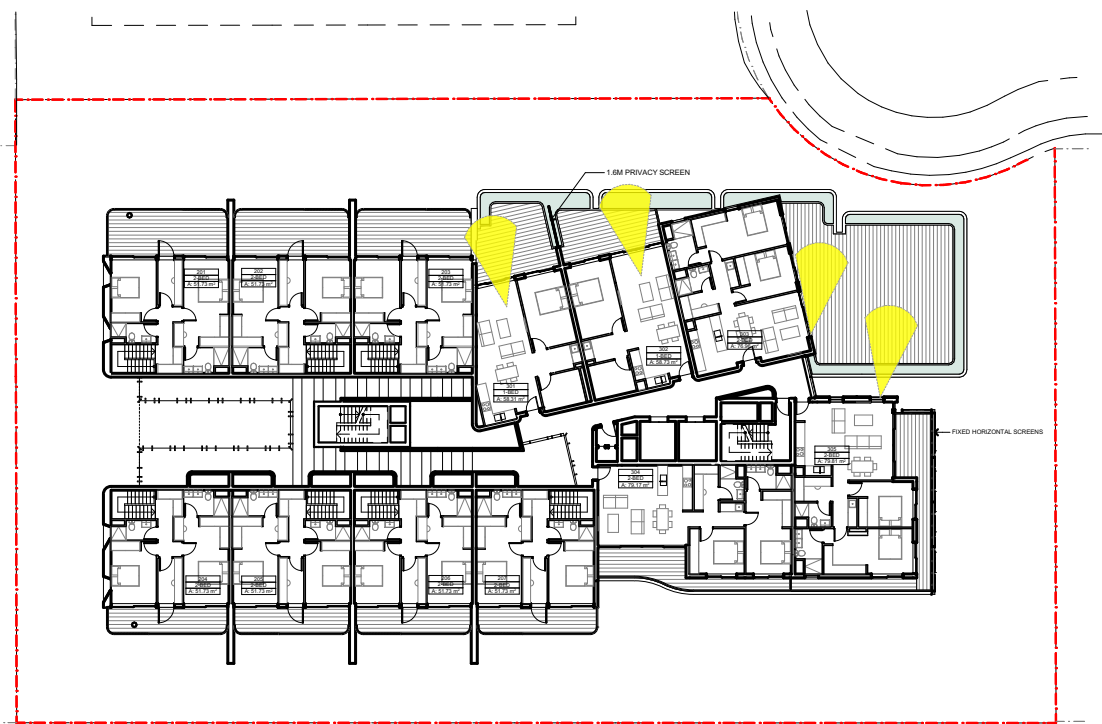
SOLAR ACCESS DIAGRAM - UPPER GROUND



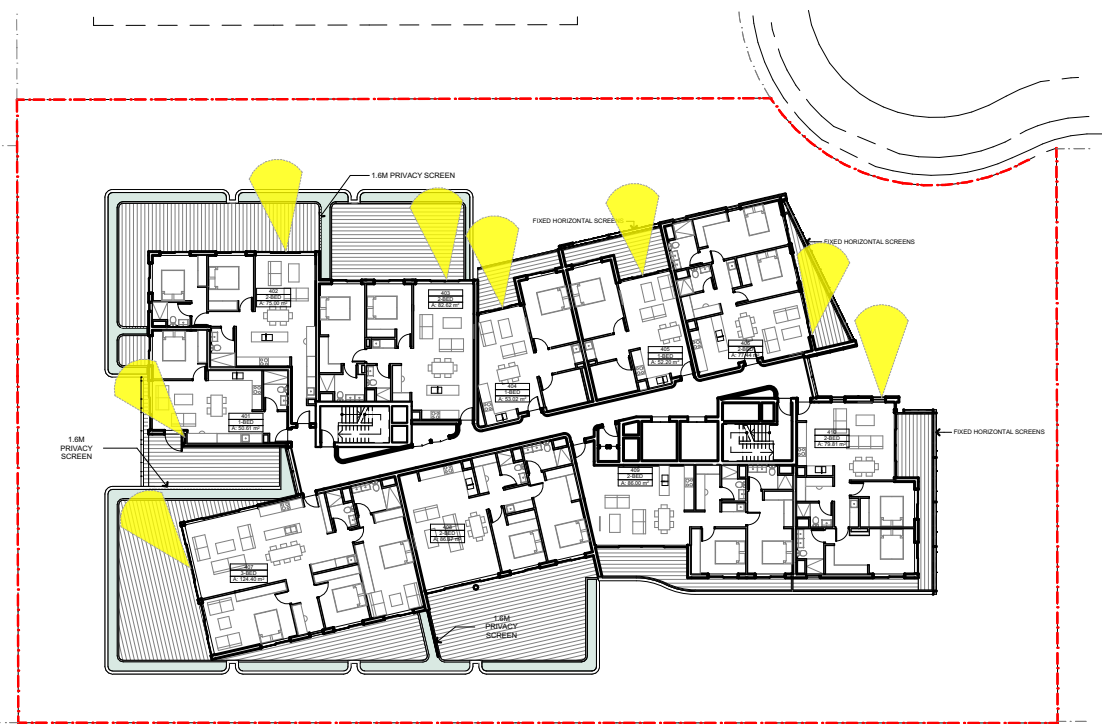
SOLAR ACCESS DIAGRAM - L1



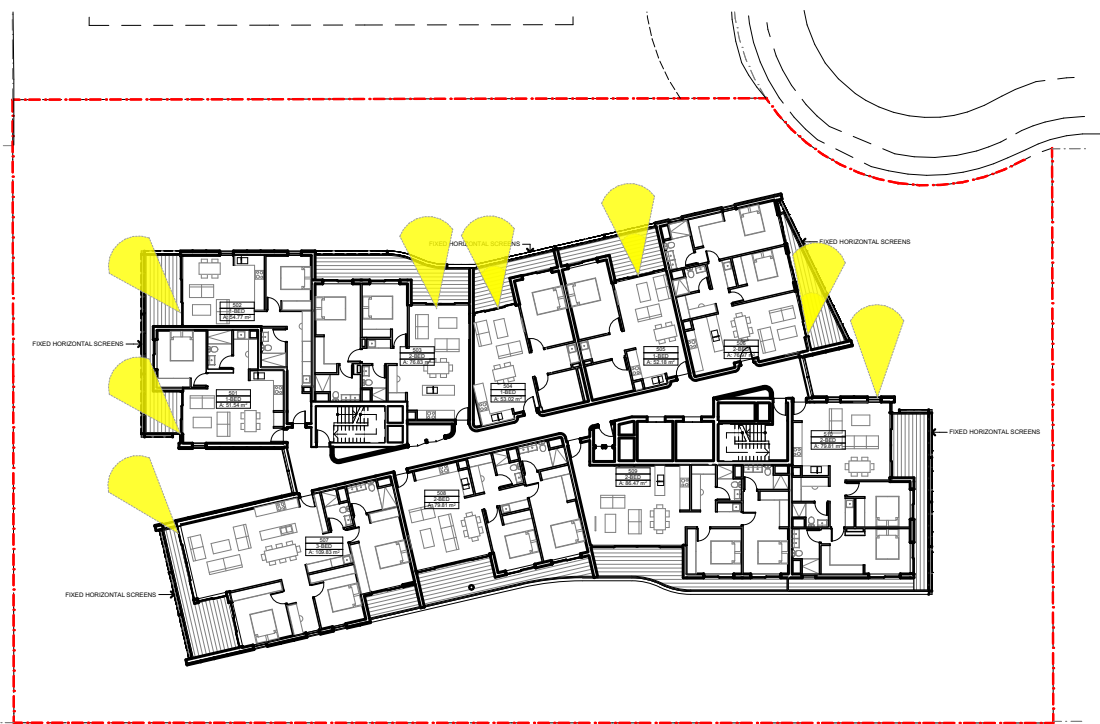
SOLAR ACCESS DIAGRAM - L2



SOLAR ACCESS DIAGRAM - L3



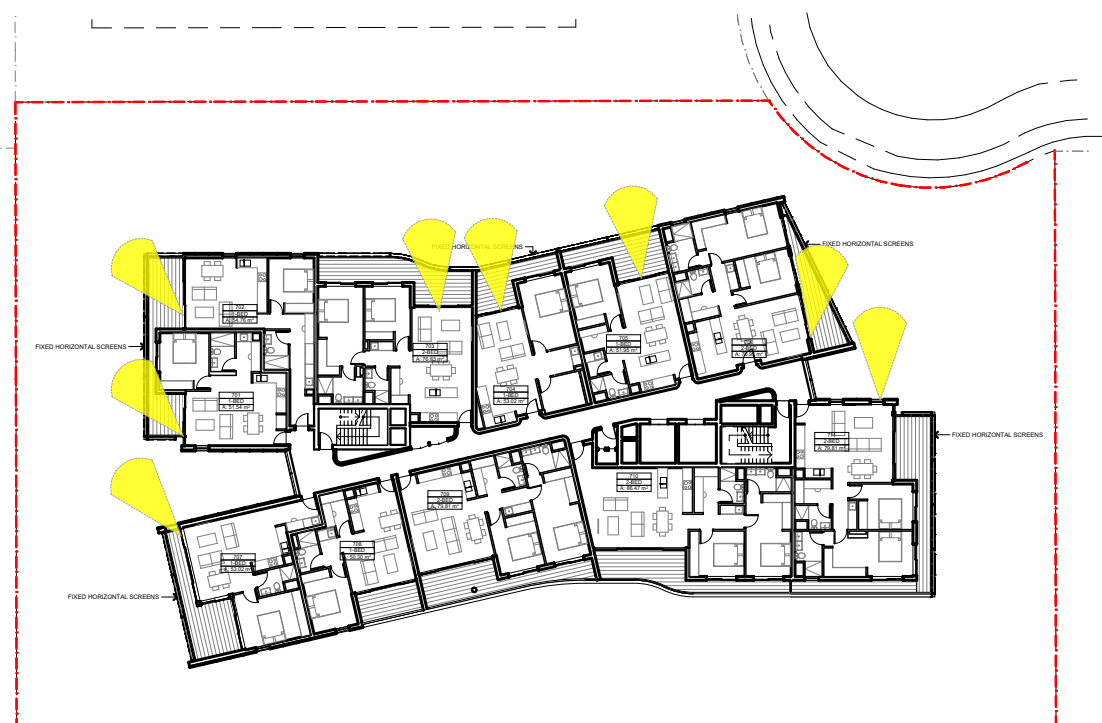
SOLAR ACCESS DIAGRAM - L4



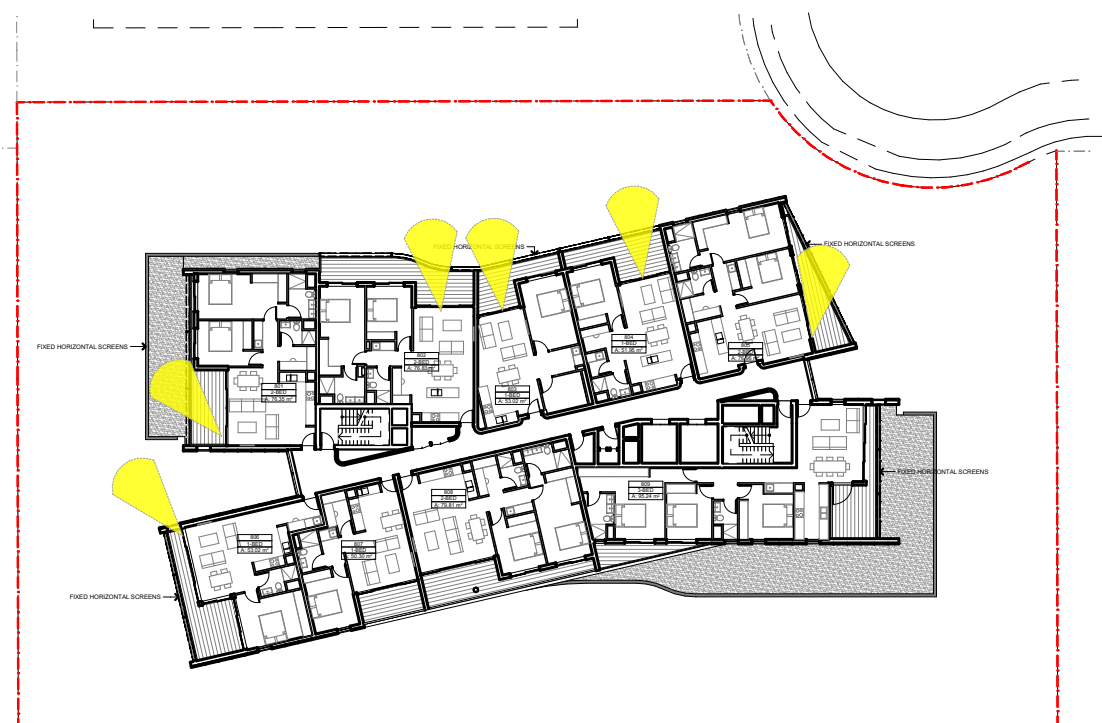
SOLAR ACCESS DIAGRAM - L5



SOLAR ACCESS DIAGRAM - L6



SOLAR ACCESS DIAGRAM - L7



SOLAR ACCESS DIAGRAM - L8



SOLAR ACCESS DIAGRAM - L9



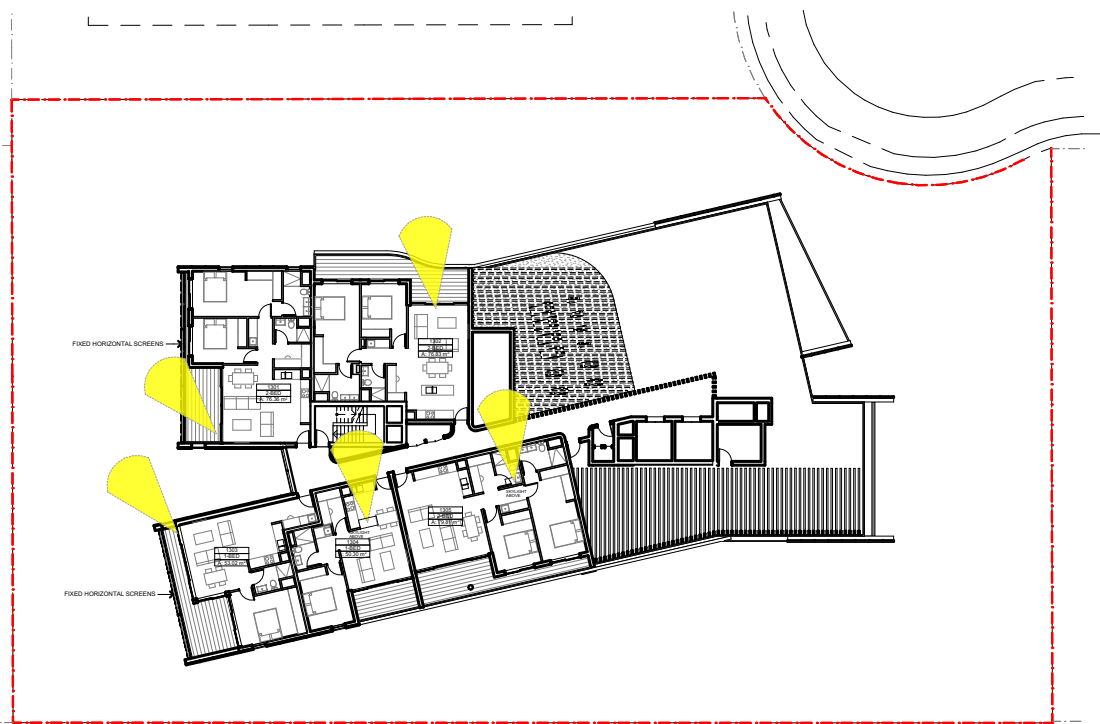
SOLAR ACCESS DIAGRAM - L10



SOLAR ACCESS DIAGRAM - L11



SOLAR ACCESS DIAGRAM - L12

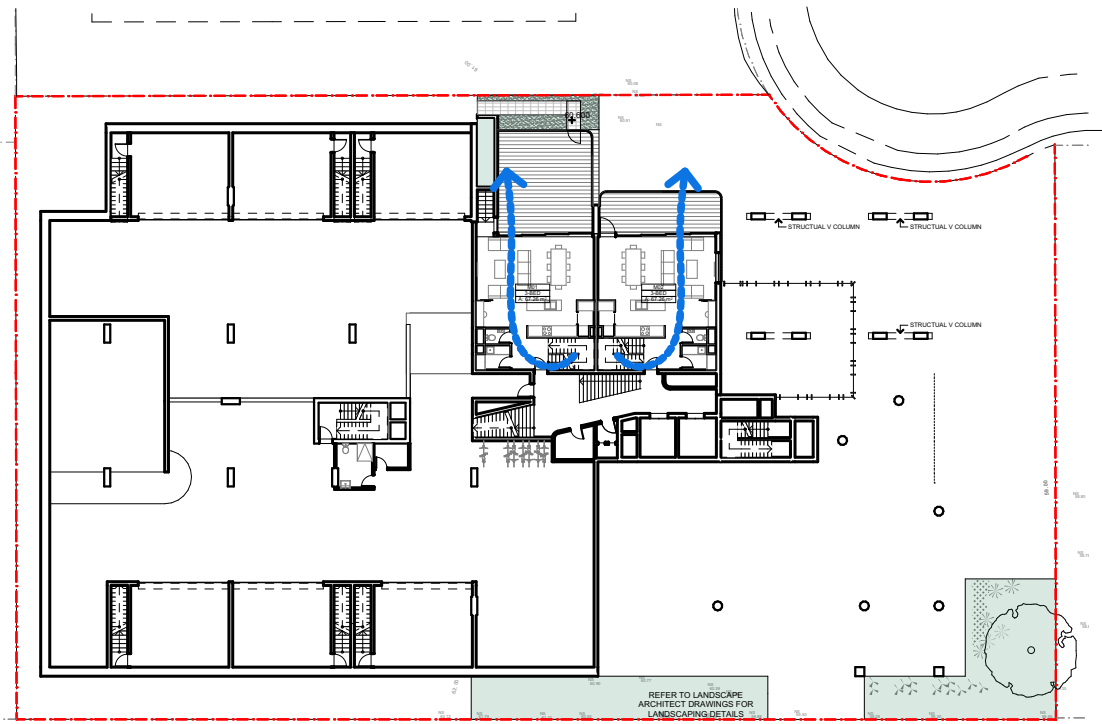


SOLAR ACCESS DIAGRAM - L13

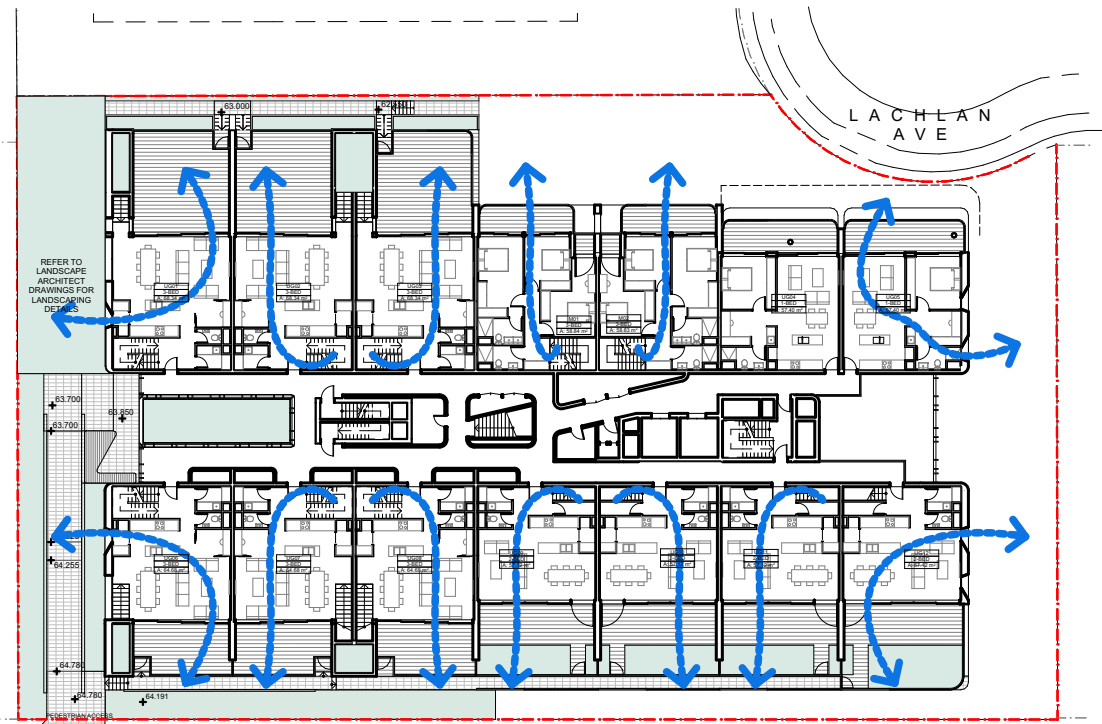
001U UNIT SCHEDULE copy 1			
UNIT SCHEDULE LEVELS	UNIT	BEDROOMS	SOLAR ACCESS
01. MEZZANINE & UPPER GROUND	M01	3-BED	Y
	M02	3-BED	Y
02. UPPER GROUND & LEVEL 1	UG01	3-BED	Y
	UG02	3-BED	Y
	UG03	3-BED	Y
	UG04	1-BED	Y
	UG05	1-BED	Y
	UG06	3-BED	Y
	UG07	3-BED	Y
	UG08	3-BED	Y
	UG09	2-BED	Y
	UG10	2-BED	Y
03. LEVEL 1 & LEVEL 2	101	2-BED	Y
	102	2-BED	Y
	103	2-BED	Y
	104	2-BED	Y
04. LEVEL 2 & LEVEL 3	201	2-BED	Y
	202	2-BED	Y
	203	2-BED	Y
	204	2-BED	Y
	205	2-BED	Y
	206	2-BED	Y
05. LEVEL 2	207	2-BED	Y
	208	2-BED	Y
06. LEVEL 3	209	2-BED	Y
	301	1-BED	Y
07. LEVEL 4	302	1-BED	Y
	303	2-BED	Y
	304	2-BED	Y
	305	2-BED	Y
08. LEVEL 5	401	1-BED	Y
	402	2-BED	Y
	403	2-BED	Y
	404	1-BED	Y
	405	1-BED	Y
	406	2-BED	Y
	407	3-BED	Y
	408	2-BED	Y
	409	2-BED	Y
	410	2-BED	Y
09. LEVEL 6	501	1-BED	Y
	502	1-BED	Y
	503	2-BED	Y
	504	1-BED	Y
	505	1-BED	Y
	506	2-BED	Y
	507	3-BED	Y
	508	2-BED	Y
	509	2-BED	Y
	510	2-BED	Y
10. LEVEL 7	601	1-BED	Y
	602	1-BED	Y
	603	2-BED	Y
	604	1-BED	Y
	605	1-BED	Y
	606	2-BED	Y
	607	3-BED	Y
	608	2-BED	Y
	609	2-BED	Y
	610	2-BED	Y
11. LEVEL 8	701	1-BED	Y
	702	1-BED	Y
	703	2-BED	Y
	704	1-BED	Y
	705	1-BED	Y
	706	2-BED	Y
	707	1-BED	Y
	708	1-BED	Y
	709	2-BED	Y
	710	2-BED	Y
12. LEVEL 9	801	2-BED	Y
	802	2-BED	Y
	803	1-BED	Y
	804	1-BED	Y
	805	2-BED	Y
	806	1-BED	Y
	807	1-BED	Y
	808	2-BED	Y
	809	3-BED	Y
	810	3-BED	Y
13. LEVEL 10	901	2-BED	Y
	902	2-BED	Y
	903	1-BED	Y
	904	1-BED	Y
	905	2-BED	Y
	906	1-BED	Y
	907	1-BED	Y
	908	2-BED	Y
	909	3-BED	Y
	910	3-BED	Y
14. LEVEL 11	1001	2-BED	Y
	1002	2-BED	Y
	1003	1-BED	Y
	1004	1-BED	Y
	1005	2-BED	Y
	1006	1-BED	Y
	1007	1-BED	Y
	1008	2-BED	Y
	1009	3-BED	Y
	1010	3-BED	Y
15. LEVEL 12	1101	2-BED	Y
	1102	2-BED	Y
	1103	1-BED	Y
	1104	1-BED	Y
	1105	2-BED	Y
	1106	1-BED	Y
	1107	1-BED	Y
	1108	2-BED	Y
	1109	3-BED	Y
	1110	3-BED	Y
16. LEVEL 13	1201	2-BED	Y
	1202	2-BED	Y
	1203	1-BED	Y
	1204	1-BED	Y
	1205	2-BED	Y
	1206	1-BED	Y
	1207	1-BED	Y
	1208	2-BED	Y
	1209	3-BED	Y
	1210	3-BED	Y
17. LEVEL 14	1301	2-BED	Y
	1302	2-BED	Y
	1303	1-BED	Y
	1304	1-BED	Y
	1305	2-BED	Y

70.7% (87/123) ACHIEVES 2-HOURS SOLAR ACCESS IN MID WINTER

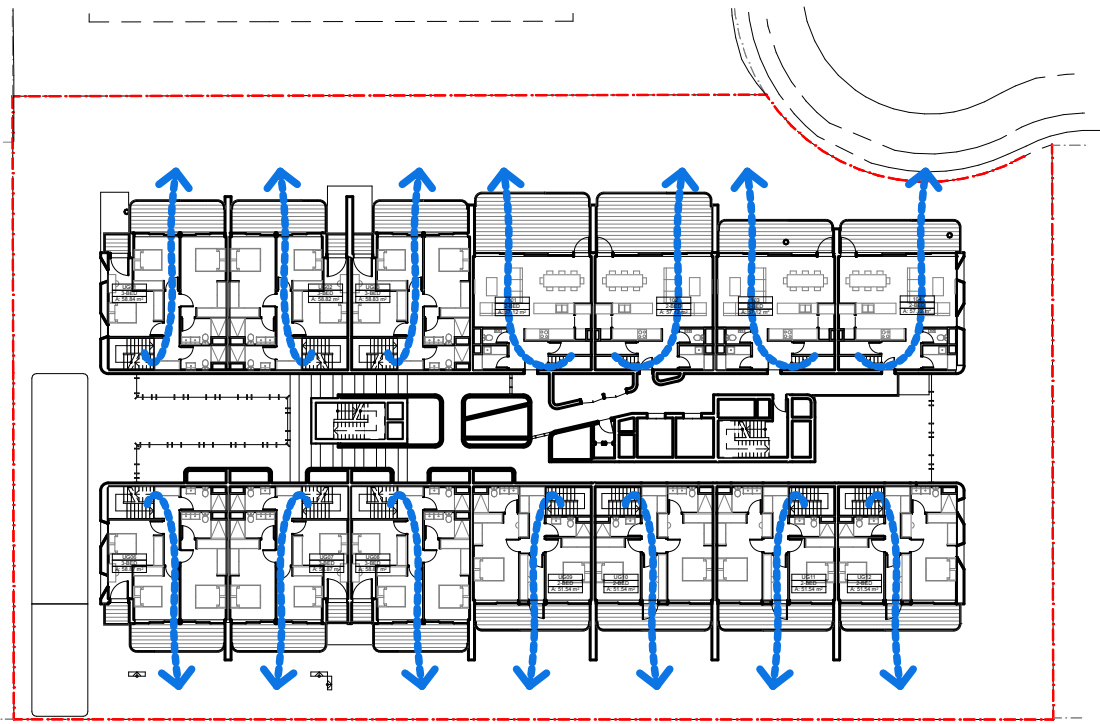




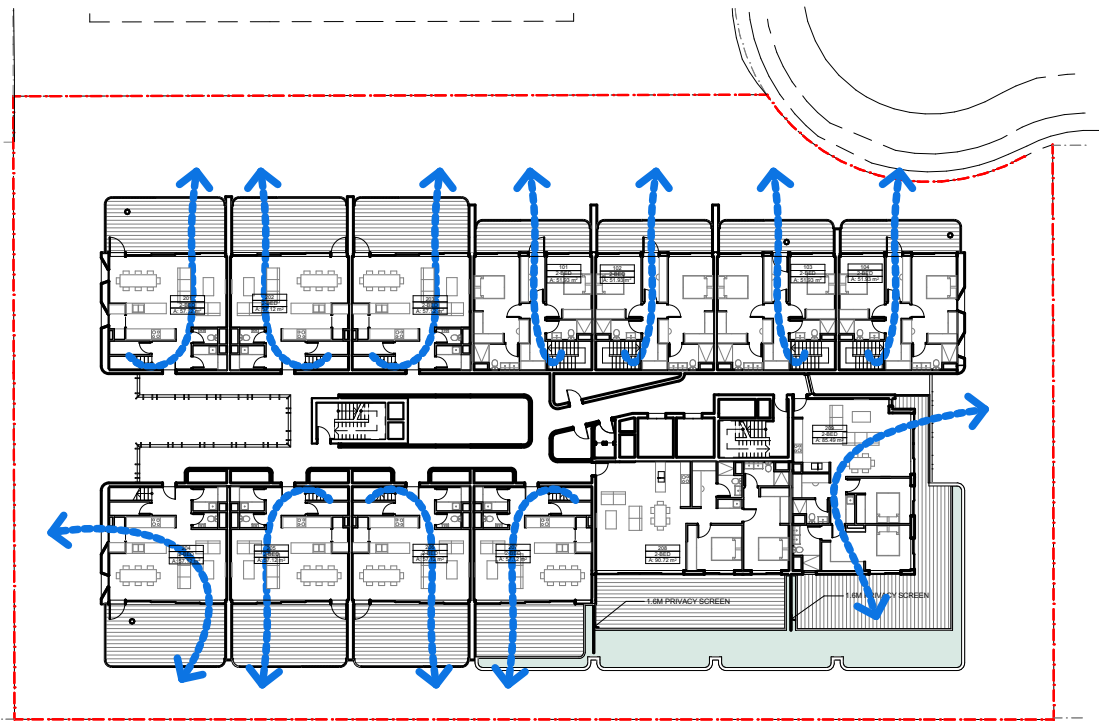
CROSS VENTILATION - MEZZANINE



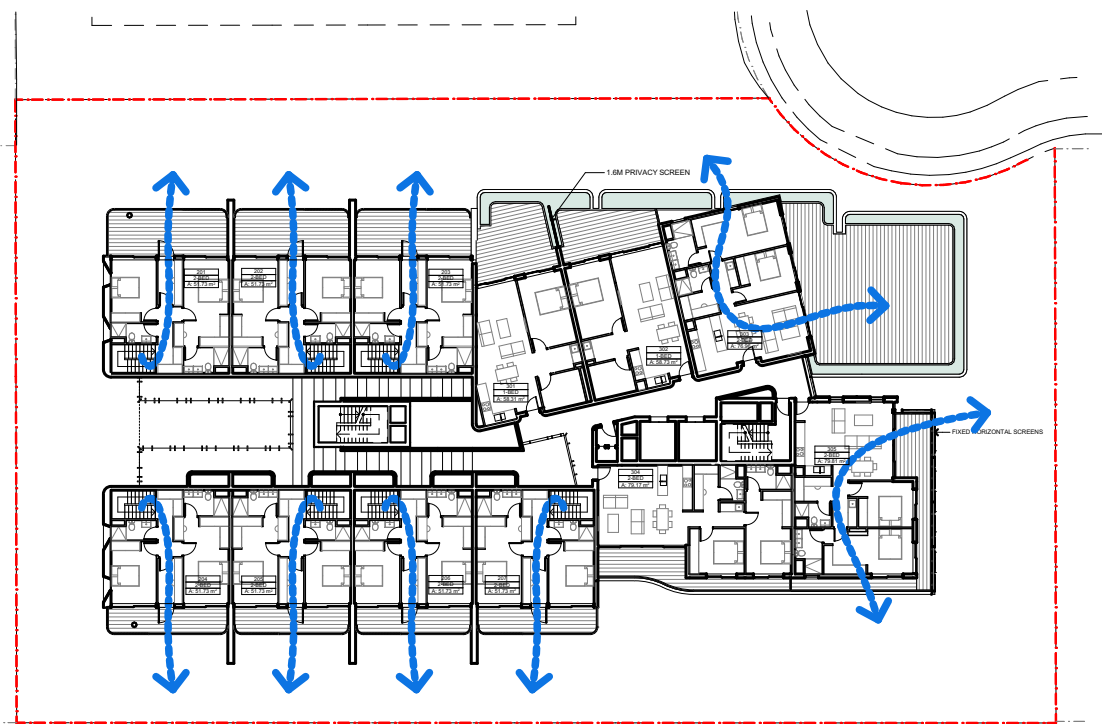
CROSS VENTILATION - UPPER GROUND



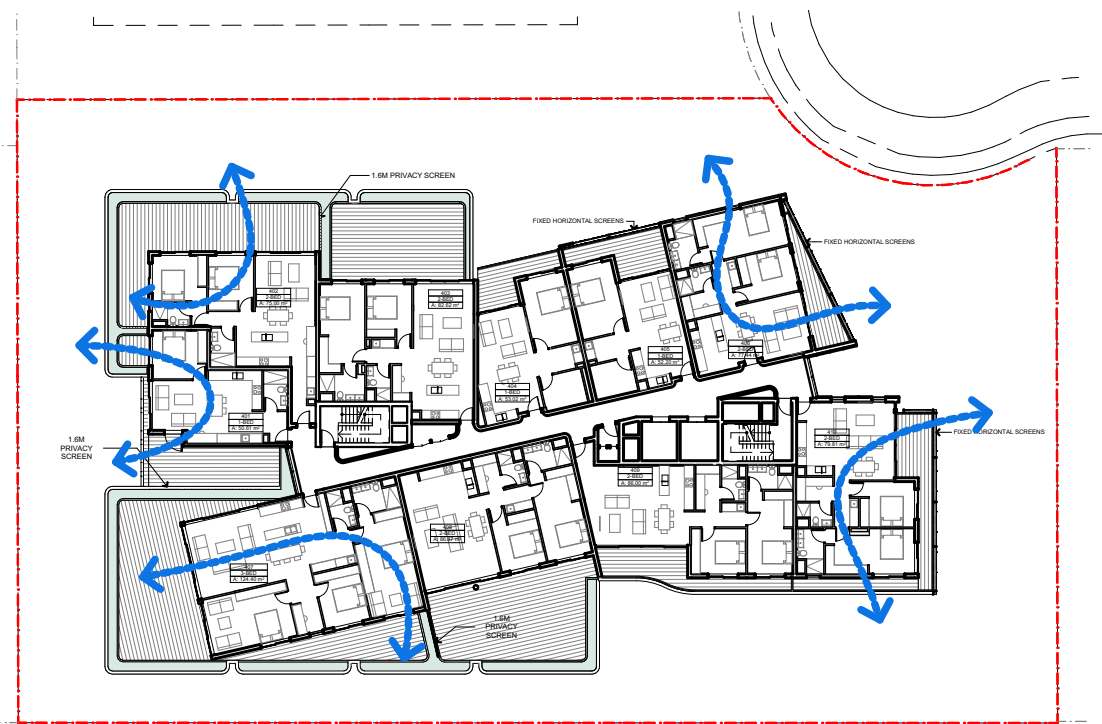
CROSS VENTILATION - L1



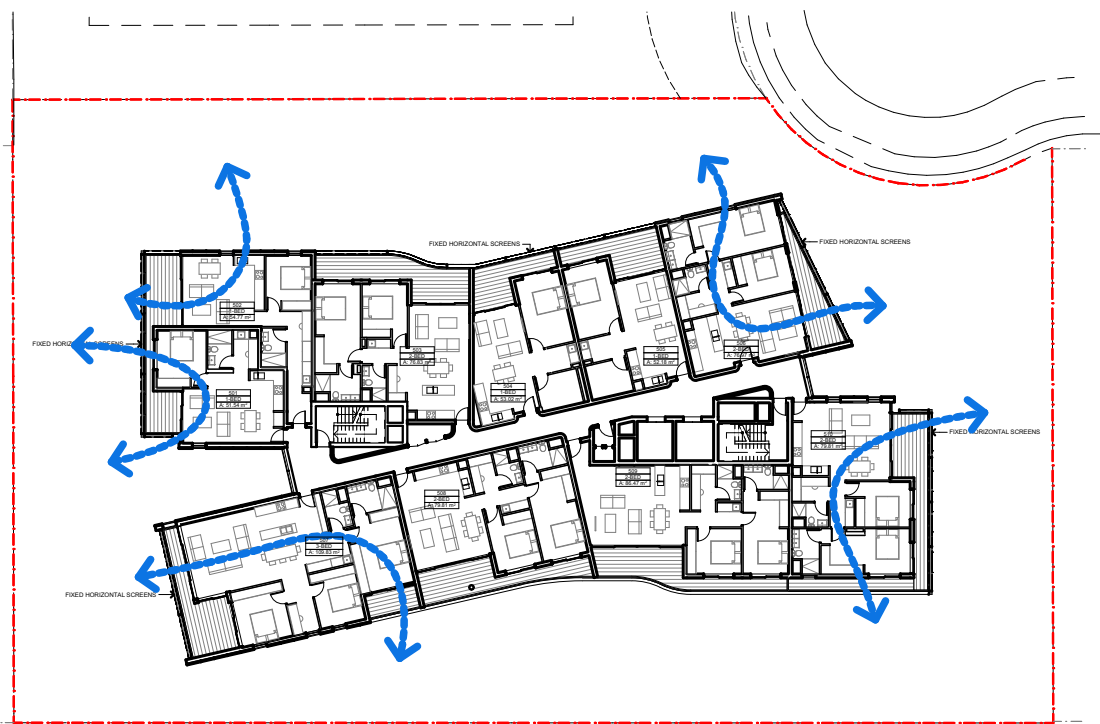
CROSS VENTILATION - L2



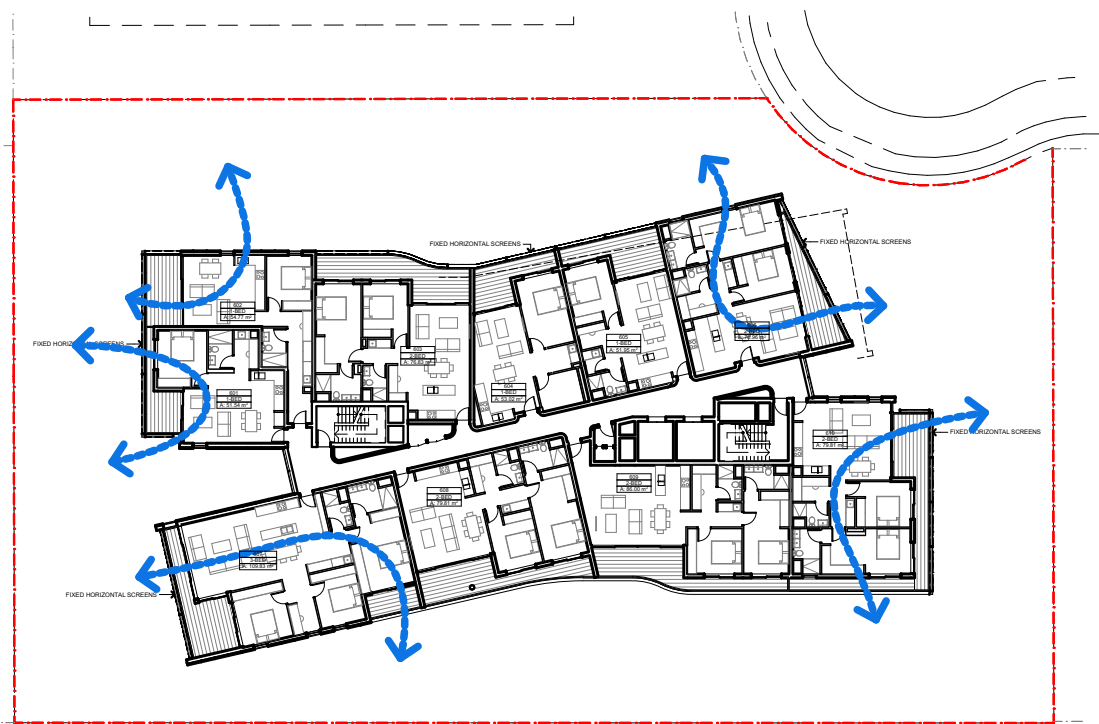
CROSS VENTILATION - L3



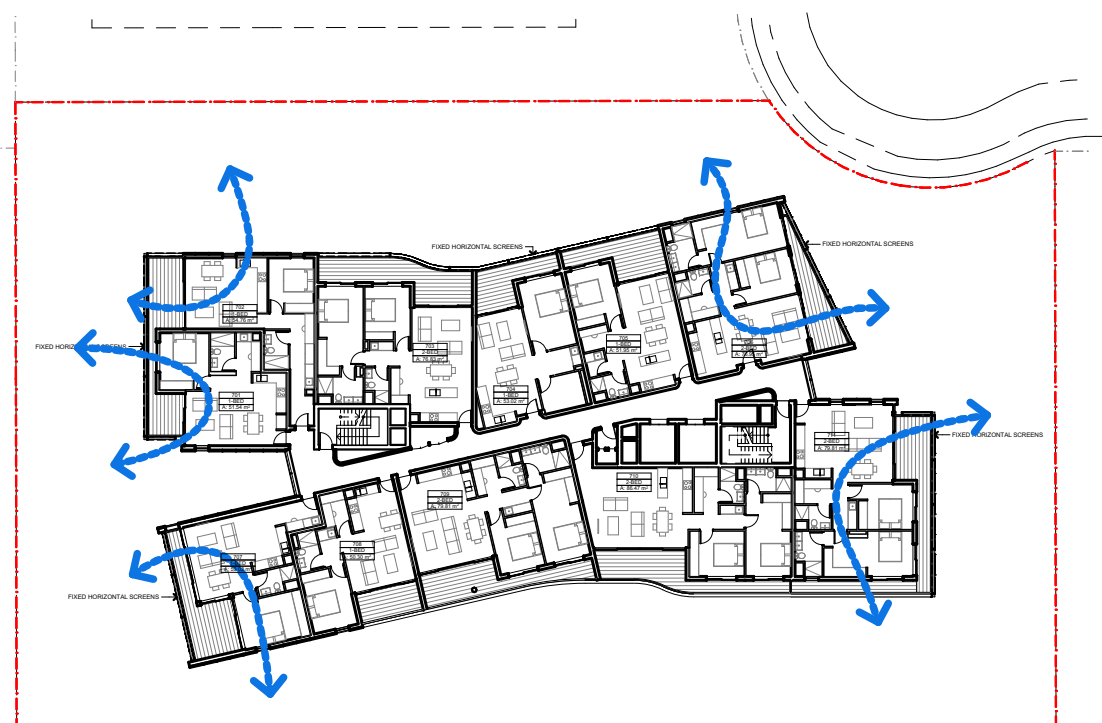
CROSS VENTILATION - L4



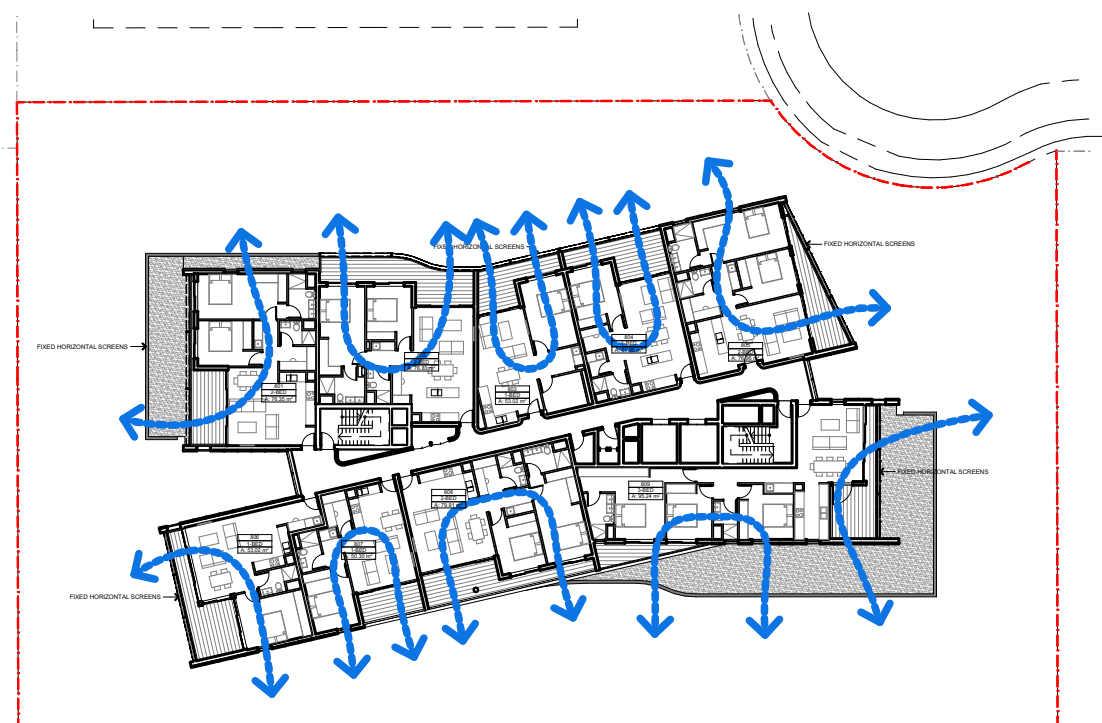
CROSS VENTILATION - L5



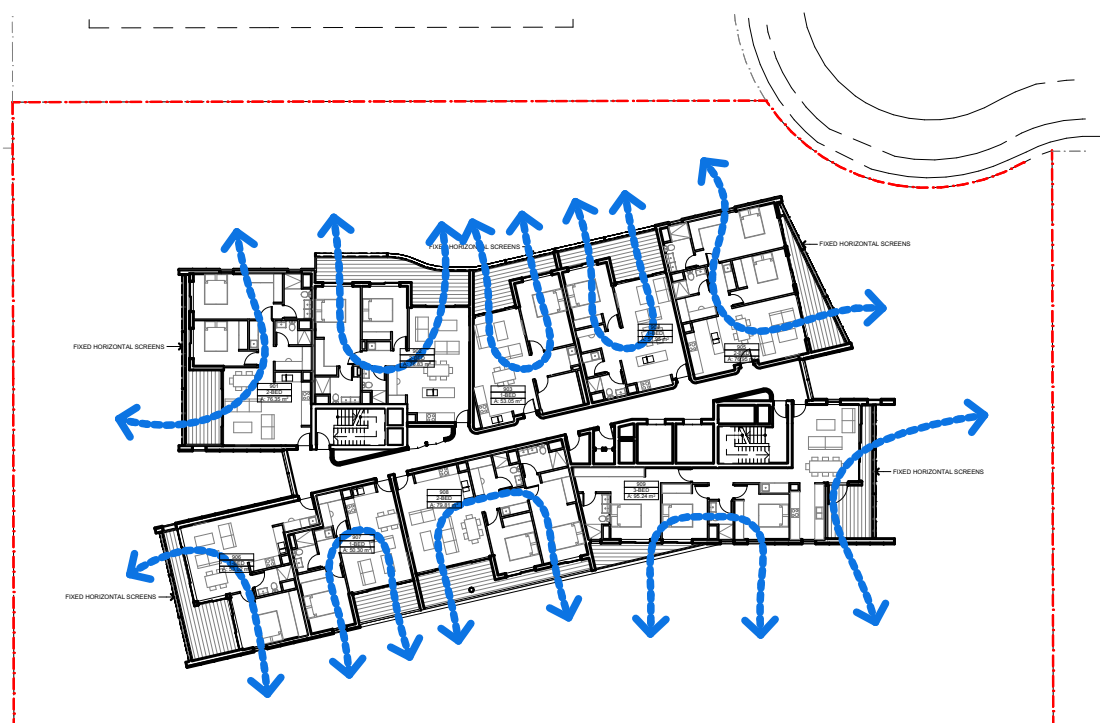
CROSS VENTILATION - L6



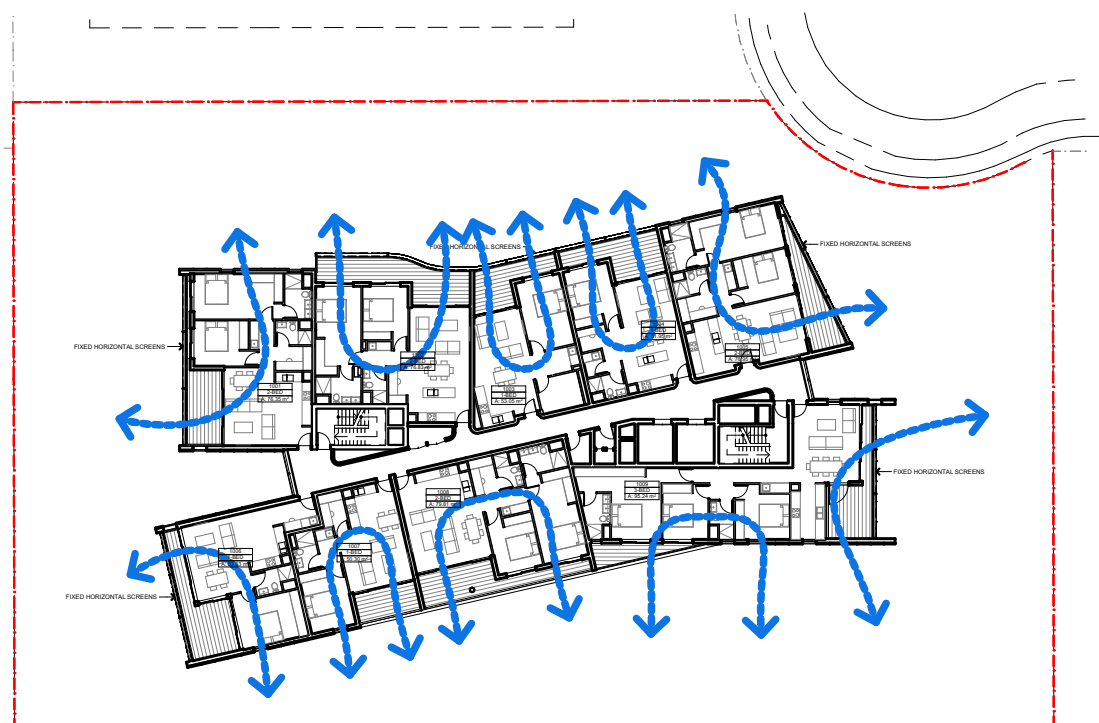
CROSS VENTILATION - L7



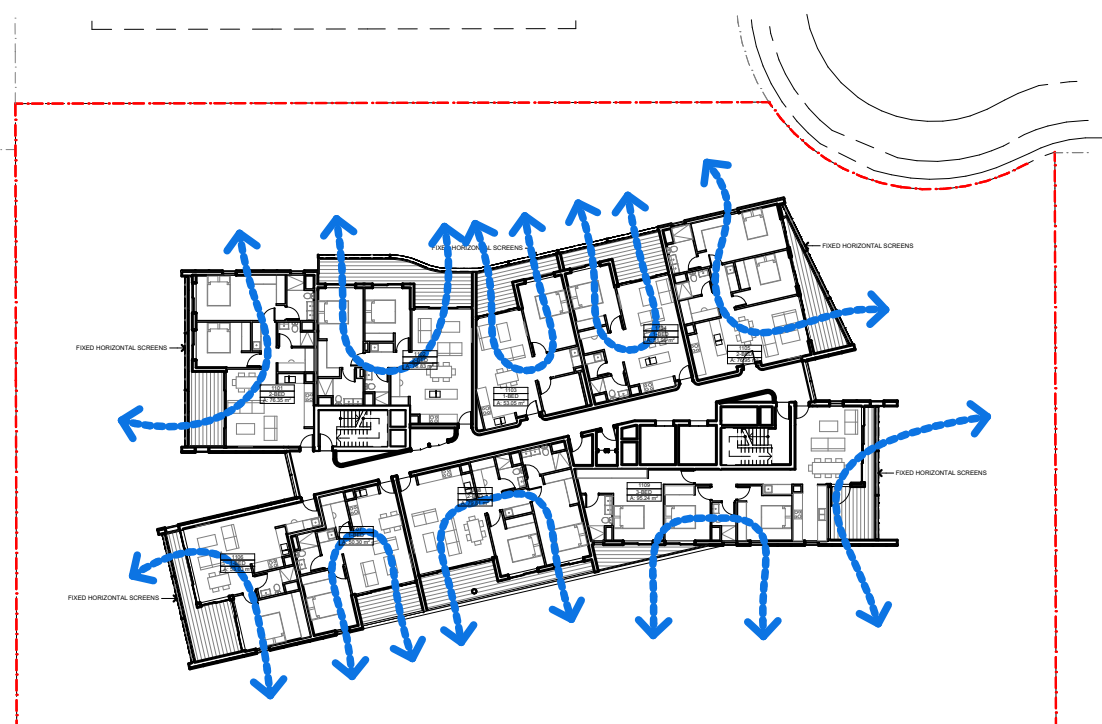
CROSS VENTILATION - L8



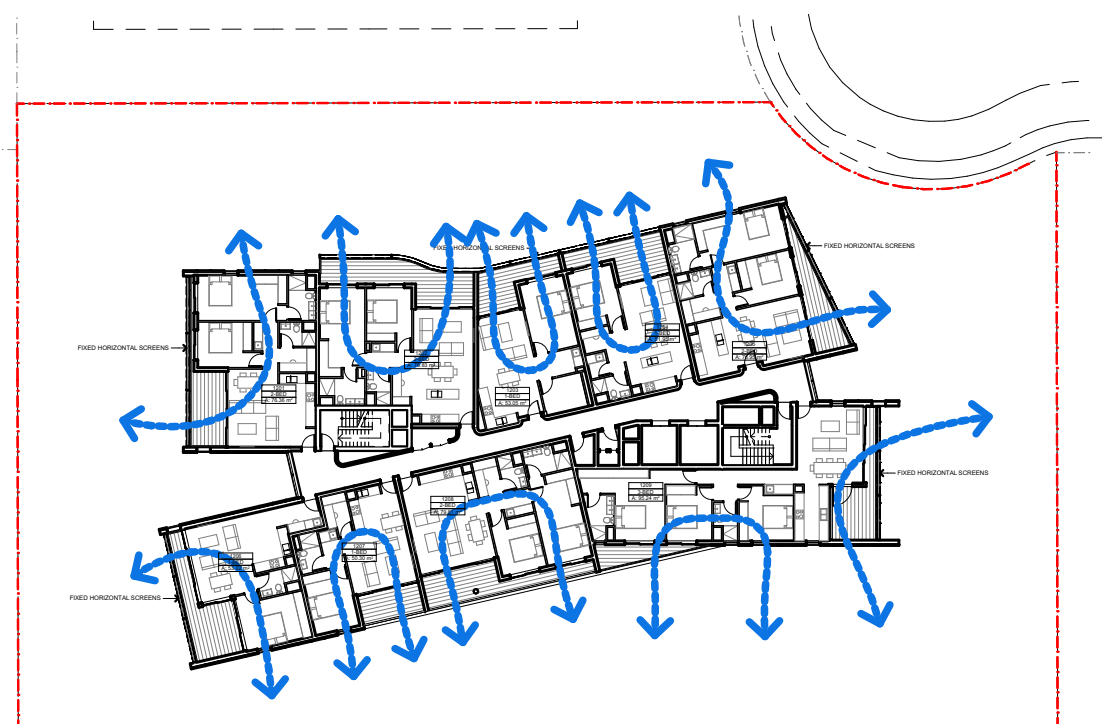
CROSS VENTILATION - L9



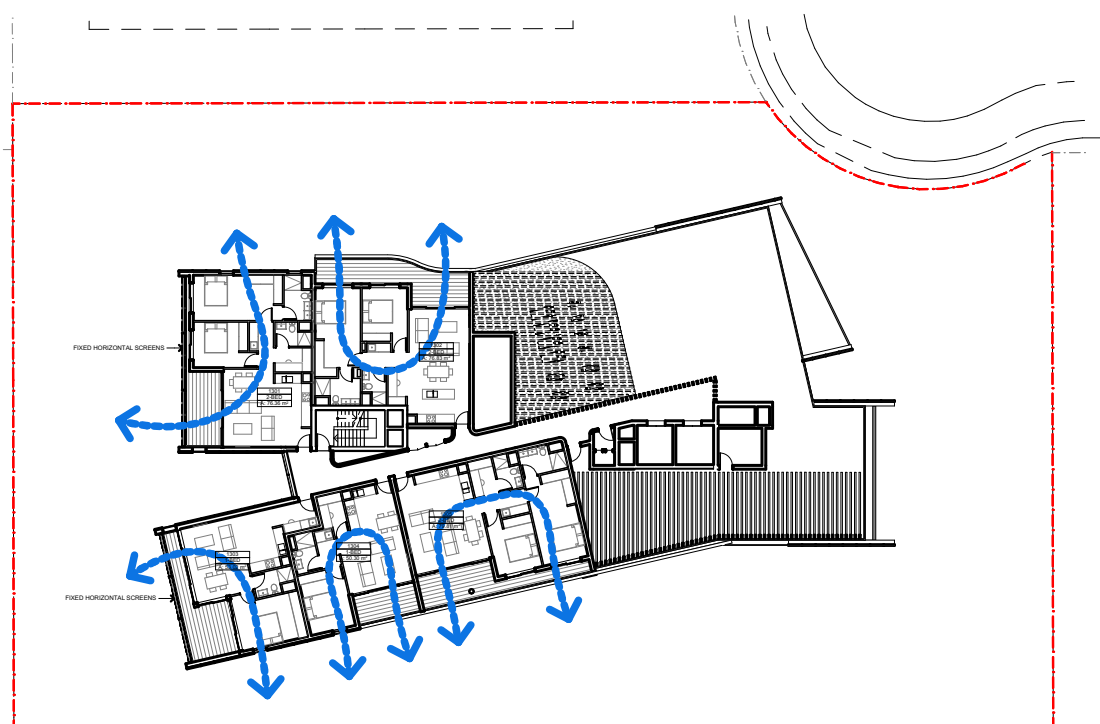
CROSS VENTILATION - L10



CROSS VENTILATION - L11



CROSS VENTILATION - L12

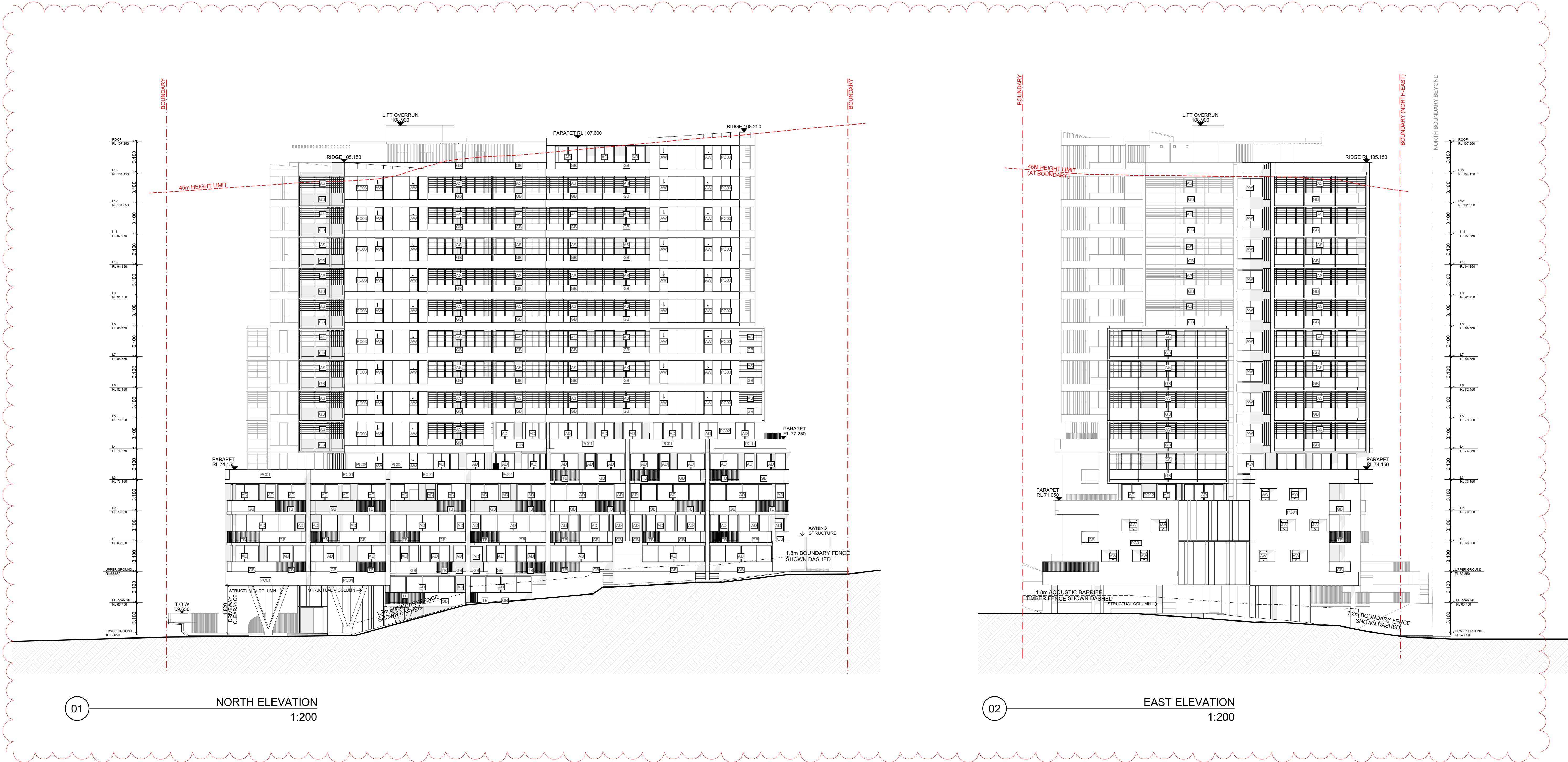


CROSS VENTILATION - L13

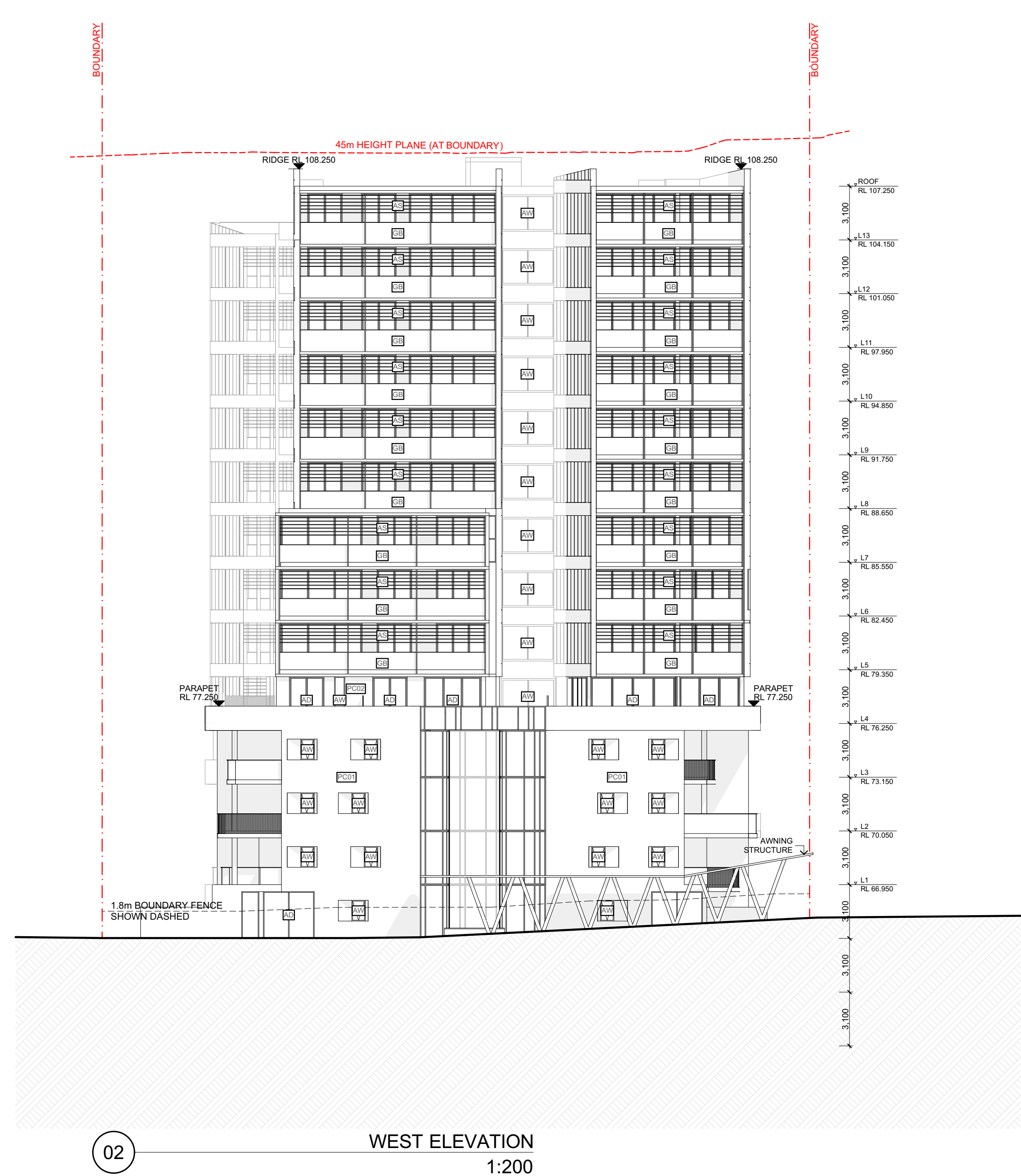
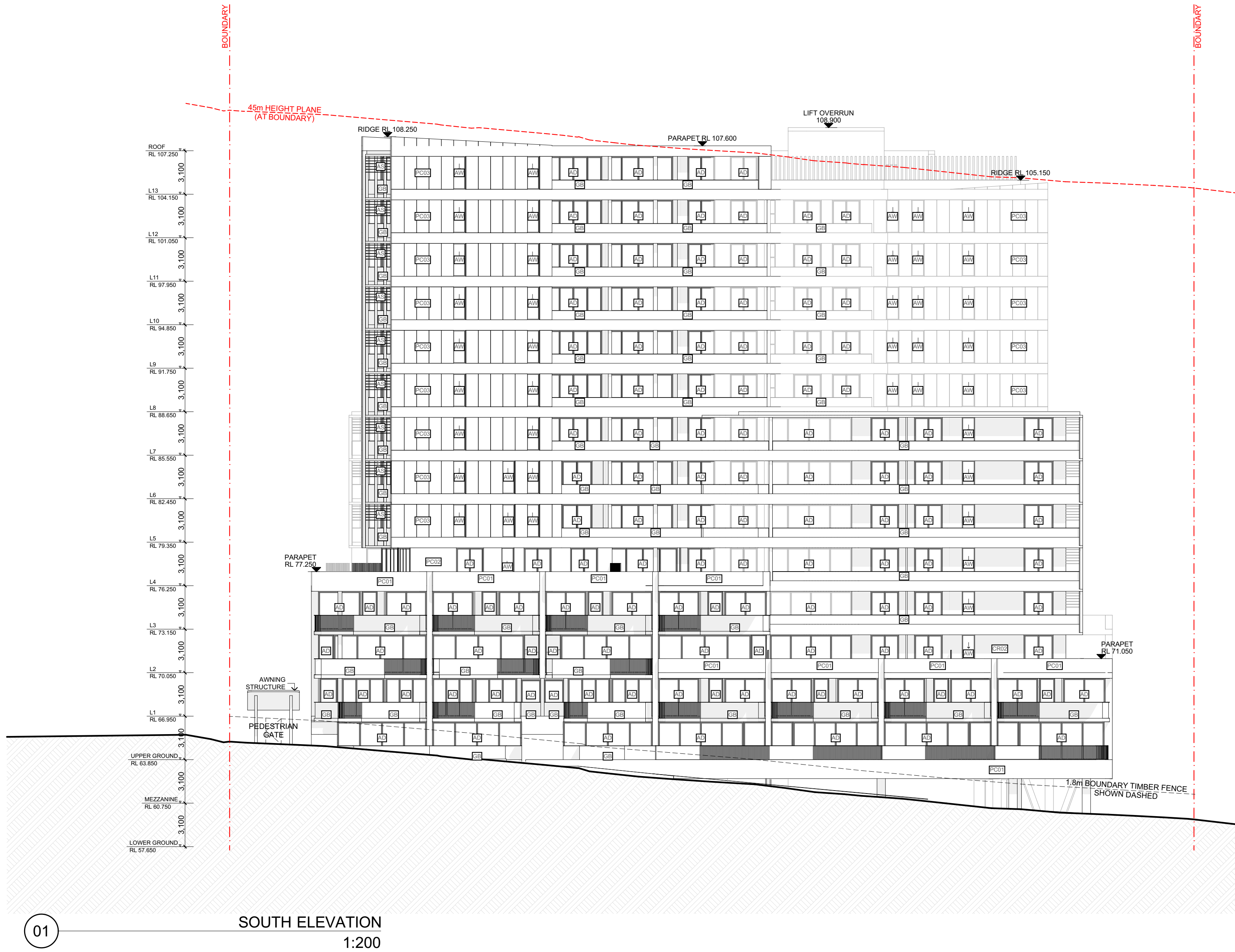
001U UNIT SCHEDULE copy 1			
UNIT SCHEDULE LEVELS	UNIT	BEDROOMS	CROSS VENT
01. MEZZANINE & UPPER GROUND	M01	3-BED	
	M02	3-BED	Y
	M03	3-BED	Y
02. UPPER GROUND & LEVEL 1	UG01	3-BED	Y
	UG02	3-BED	Y
	UG03	3-BED	Y
	UG04	1-BED	Y
	UG05	1-BED	Y
	UG06	3-BED	Y
	UG07	3-BED	Y
	UG08	3-BED	Y
	UG09	2-BED	Y
	UG10	2-BED	Y
03. LEVEL 1 & LEVEL 2	101	2-BED	Y
	102	2-BED	Y
	103	2-BED	Y
	104	2-BED	Y
04. LEVEL 2 & LEVEL 3	201	2-BED	Y
	202	2-BED	Y
	203	2-BED	Y
	204	2-BED	Y
	205	2-BED	Y
	206	2-BED	Y
05. LEVEL 2	207	2-BED	Y
	208	2-BED	Y
06. LEVEL 3	209	2-BED	Y
	301	1-BED	
	302	1-BED	
07. LEVEL 4	303	2-BED	Y
	304	2-BED	Y
	305	2-BED	Y
	306	2-BED	Y
08. LEVEL 5	401	1-BED	Y
	402	2-BED	Y
	403	2-BED	Y
	404	1-BED	
	405	1-BED	
	406	2-BED	Y
	407	3-BED	Y
	408	2-BED	Y
	409	2-BED	Y
	410	2-BED	Y
09. LEVEL 6	501	1-BED	Y
	502	1-BED	Y
	503	2-BED	Y
	504	1-BED	
	505	1-BED	
	506	2-BED	Y
	507	3-BED	Y
	508	2-BED	Y
	509	2-BED	Y
	510	2-BED	Y
10. LEVEL 7	601	1-BED	Y
	602	1-BED	Y
	603	2-BED	Y
	604	1-BED	
	605	1-BED	
	606	2-BED	Y
	607	3-BED	Y
	608	2-BED	Y
	609	2-BED	Y
	610	2-BED	Y
11. LEVEL 8	701	1-BED	Y
	702	1-BED	Y
	703	2-BED	Y
	704	1-BED	
	705	1-BED	
	706	2-BED	Y
	707	1-BED	Y
	708	1-BED	Y
	709	2-BED	Y
	710	2-BED	Y
12. LEVEL 9	801	2-BED	Y
	802	2-BED	Y
	803	1-BED	Y
	804	1-BED	Y
	805	2-BED	Y
	806	1-BED	Y
	807	1-BED	Y
	808	2-BED	Y
	809	3-BED	Y
	810	3-BED	Y
13. LEVEL 10	901	2-BED	Y
	902	2-BED	Y
	903	1-BED	Y
	904	1-BED	Y
	905	2-BED	Y
	906	1-BED	Y
	907	1-BED	Y
	908	2-BED	Y
	909	3-BED	Y
	910	3-BED	Y
14. LEVEL 11	1001	2-BED	Y
	1002	2-BED	Y
	1003	1-BED	Y
	1004	1-BED	Y
	1005	2-BED	Y
	1006	1-BED	Y
	1007	1-BED	Y
	1008	2-BED	Y
	1009	3-BED	Y
	1010	3-BED	Y
15. LEVEL 12	1101	2-BED	Y
	1102	2-BED	Y
	1103	1-BED	Y
	1104	1-BED	Y
	1105	2-BED	Y
	1106	1-BED	Y
	1107	1-BED	Y
	1108	2-BED	Y
	1109	3-BED	Y
	1110	3-BED	Y
16. LEVEL 13	1201	2-BED	Y
	1202	2-BED	Y
	1203	1-BED	Y
	1204	1-BED	Y
	1205	2-BED	Y
	1206	1-BED	Y
	1207	1-BED	Y
	1208	2-BED	Y
	1209	3-BED	Y
	1210	3-BED	Y
17. LEVEL 14	1301	2-BED	Y
	1302	2-BED	Y
	1303	1-BED	Y
	1304	1-BED	Y
	1305	2-BED	Y

64.4% (47/73) IN THE FIRST 9 STOREYS (M-L7) ACHIEVES CROSS VENTILATION  
REFER TO CROSS VENTILATION STUDY FOR CONFIRMATION









**BUREAU SRH | architecture** STUDIO 3 | 2 VERONA STREET | PADDINGTON | NSW | 2021 | AUSTRALIA | tel +61 2 9380 4666 | admin@bureau.srh.com

NOMINATED ARCHITECT: SIMON HANSON # 6739  
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LEGEND:  
PC01 - PRECAST CONCRETE FACADE MINERAL STAIN FINISH SANDSTONE COLOUR OR SIMILAR  
PC02 - PRECAST CONCRETE FACADE MINERAL STAIN FINISH DARK GREY COLOUR OR SIMILAR  
PC03 - PRECAST CONCRETE FACADE MINERAL STAIN FINISH WHITE COLOUR OR SIMILAR  
TS - FIXED TIMBER LOOKING PRIVACY SCREENS

GB - GLASS BALUSTRADE  
G - GLASS CURTAIN WALL  
AD - ALUMINUM DOOR  
AW - ALUMINUM WINDOW  
S - TIMBER LOOKING SOFFIT  
F - FIXED

REV	DATE	COMMENTS
01	16/09/2021	
02	16/09/2022	
03	22/08/2022	

PRELIMINARY NOT FOR CONSTRUCTION			
1-3 LACHLAN AVENUE, MACQUARIE PARK		PROJECT No: 17143	
STAGE:	DEVELOPMENT APPLICATION	DRAWING TITLE:	ELEVATIONS - SOUTH & WEST
SCALE @ A1:	1:200	CLIENT:	ECOWORLD INTERNATIONAL
		DRAWN:	BSRH
		CHECKED:	BSRH
		DATE:	25/08/2022
		APPROVED:	LY
		DRAWING No:	DA 3101
		REVISION:	03





01

SECTION A-A  
1:200

01

SECTION B-B  
1:200

**BUREAU SRH | architecture** STUDIO 3 | 2 VERONA STREET | PADDINGTON | NSW | 2021 | AUSTRALIA |  
tel +61 2 9380 4666 | admin@bureausrh.com

NOMINATED ARCHITECT: SIMON HANSON # 6739  
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LEGEND:

REV	DATE	COMMENTS
01	16/09/2021	
02	16/09/2022	
03	22/08/2022	

**1-3 LACHLAN AVENUE, MACQUARIE PARK** PROJECT No: 17143

STAGE:  
**DEVELOPMENT APPLICATION**

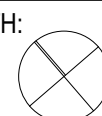
DRAWING TITLE:  
**SECTIONS**

DRAWING No:  
**DA 3200**

SCALE @ A1:

**1:200**

NORTH:



CLIENT: **ECOWORLD INTERNATIONAL**

DRAWN: **BSRH**

DATE: **25/08/2022**

CHECKED: **BSRH**

APPROVED: **LY**

REVISION:

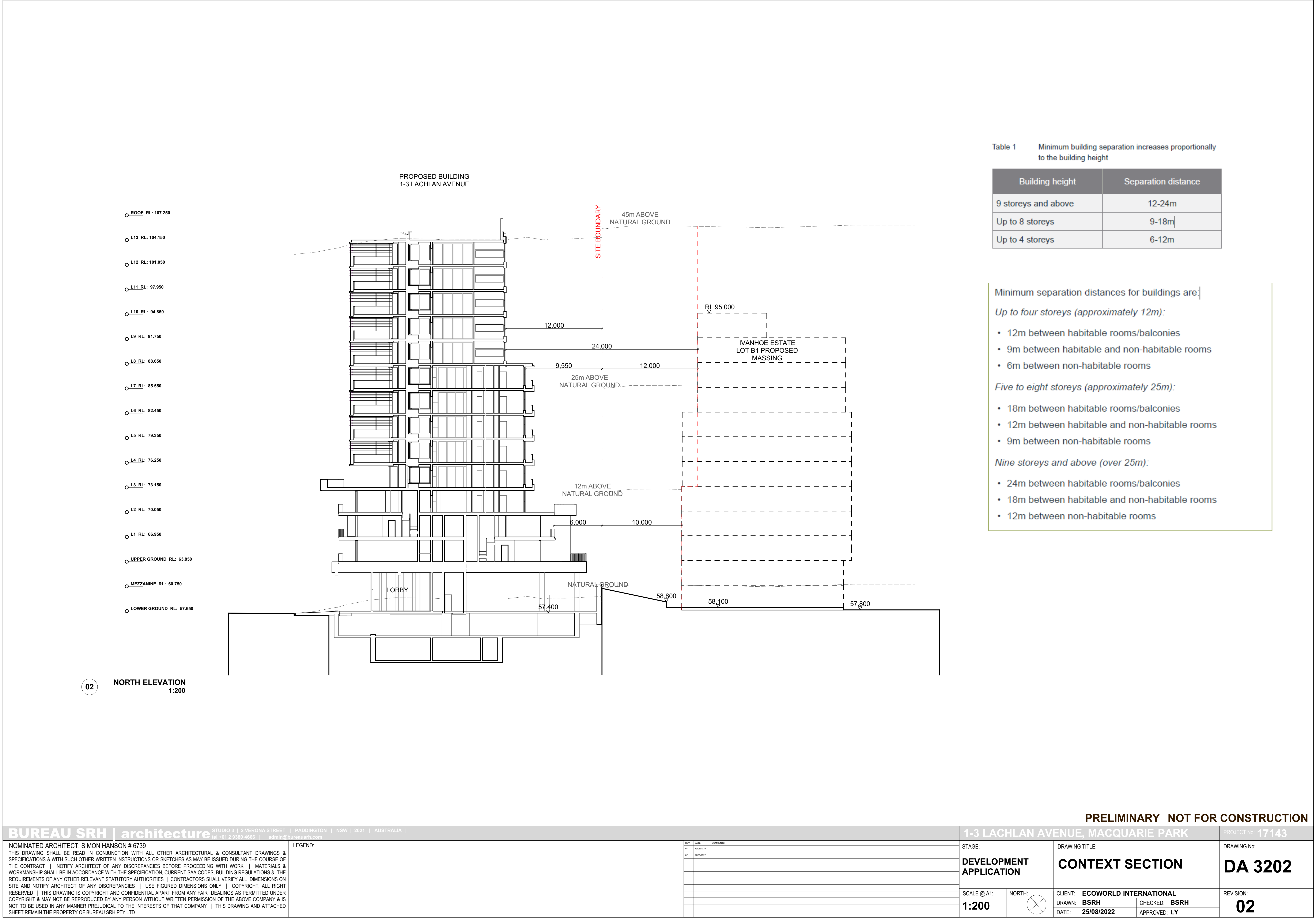
**03**

**PRELIMINARY NOT FOR CONSTRUCTION**









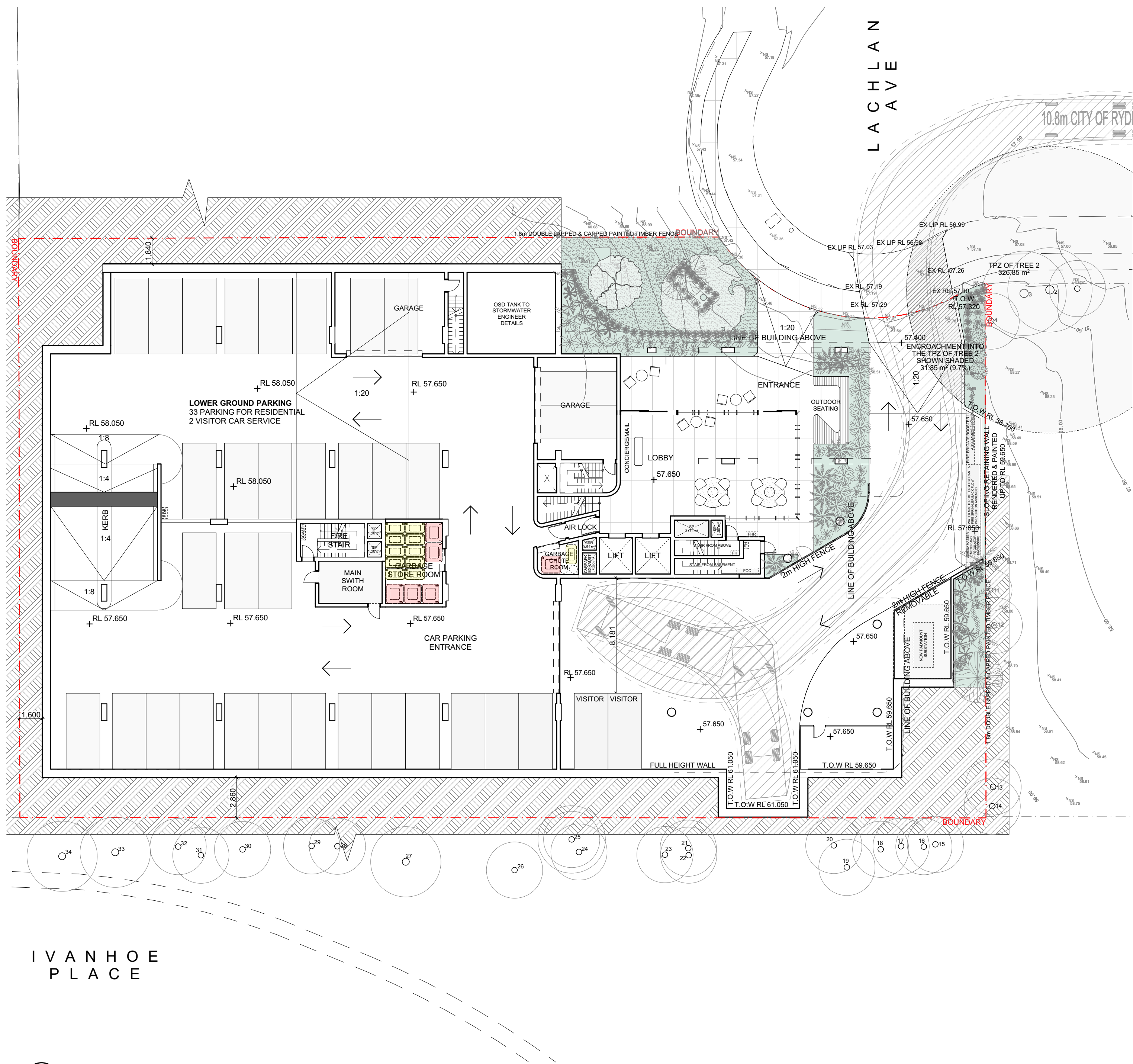








01 — UPPER GROUND PLANE  
1:200



02 — LOWER GROUND PLANE  
1:200

REV	DATE	COMMENTS
01	19/05/2022	
02	20/08/2022	

PRELIMINARY NOT FOR CONSTRUCTION			
1-3 LACHLAN AVENUE, MACQUARIE PARK		PROJECT No: 17143	
STAGE: <b>DEVELOPMENT APPLICATION</b>		DRAWING TITLE: <b>GROUND PLANE DIAGRAMS</b>	
SCALE @ A1: <b>1:200</b>		CLIENT: <b>ECOWORLD INTERNATIONAL</b>	
NORTH: 		DRAWN: <b>BSRH</b>	CHECKED: <b>BSRH</b>
		DATE: <b>25/08/2022</b>	APPROVED: <b>LY</b>
		REVISION:	<b>02</b>





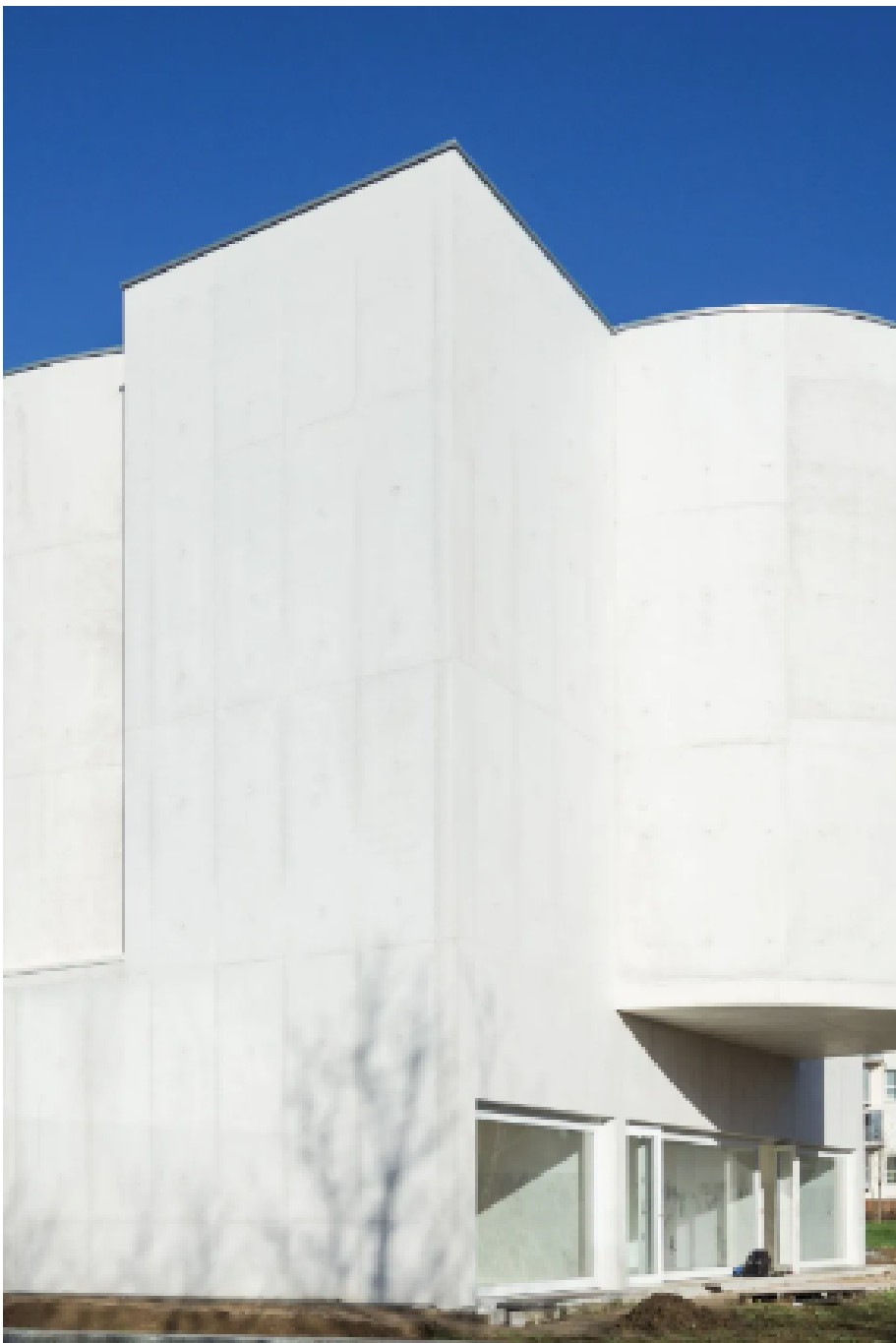
The podium pre-cast panels to all elevations shall have a deep panel profile with a panel thickness of approximately 300mm to achieve the splayed window reveals as shown on the east and west podium elevations.



PC01 - PRECAST CONCRETE FACADE  
- MINERAL STAIN PAINT - SANDSTONE  
COLOUR OR SIMILAR (FOR PODIUM)



PC02 - PRECAST CONCRETE FACADE  
- MINERAL STAIN PAINT - DARK GREY  
COLOUR OR SIMILAR



PC03 - PRECAST CONCRETE FACADE  
- MINERAL STAIN PAINT - WHITE COLOUR OR  
SIMILAR (FOR TOWER)



AS - FIXED HORIZONTAL SCREEN  
- FOR TOWER



GB - GLASS BALUSTRADE



TB - TIMBER LOOKING BALUSTRADE  
- FOR PODIUM

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LEGEND:

REV	DATE	COMMENTS
01	16/08/2021	
02	16/08/2022	
03	25/08/2022	

1-3 LACHLAN AVENUE, MACQUARIE PARK		PROJECT No: 17143	
STAGE:		DRAWING TITLE:	
DEVELOPMENT APPLICATION		MATERIAL SCHEDULE	
SCALE @ A1:		CLIENT: ECOWORLD INTERNATIONAL	
NORTH:		DRAWN: BSRH	
		CHECKED: BSRH	
		DATE: 25/08/2022	
		APPROVED: LY	
		REVISION: 03	

DRAWING No: DA 6000





FRONT VIEW FROM LACHLAN AVENUE





REAR VIEW FROM IVANHOE PLACE





VIEW FROM 1 PEACHTREE ROAD





VIEW FOR BUILDING ENTRANCE



## 3D COMPARISON

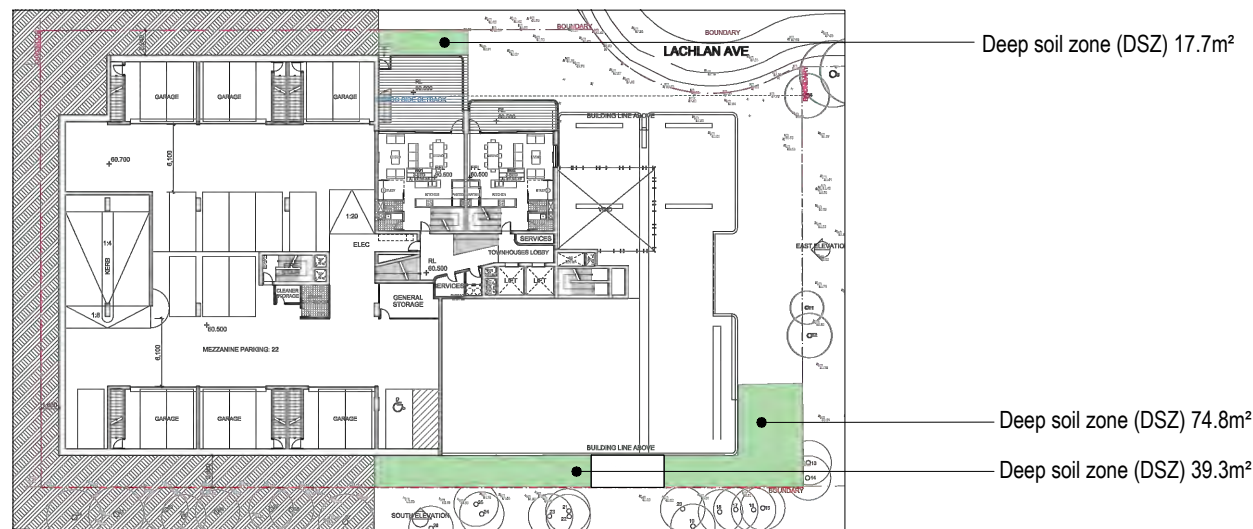
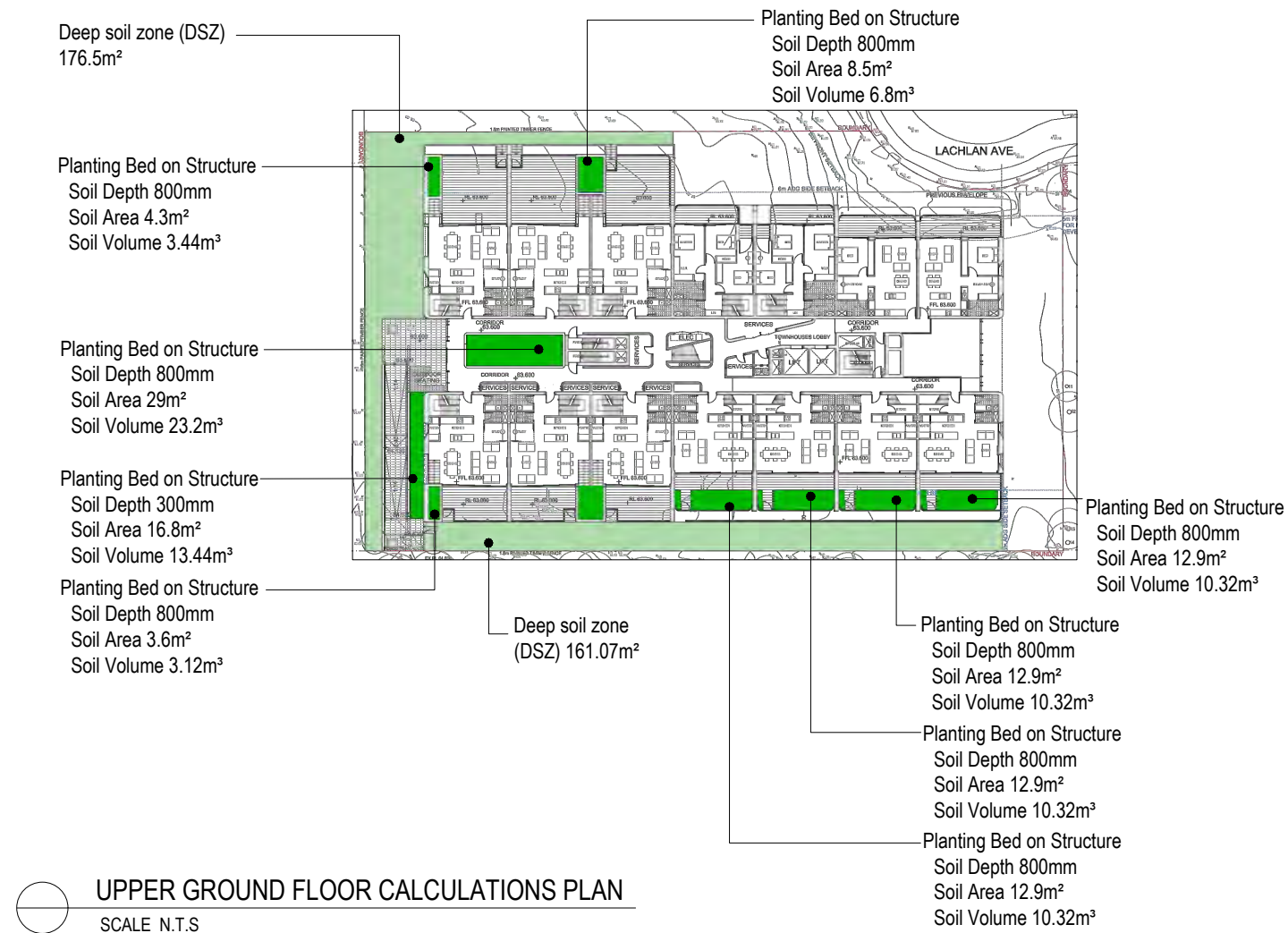
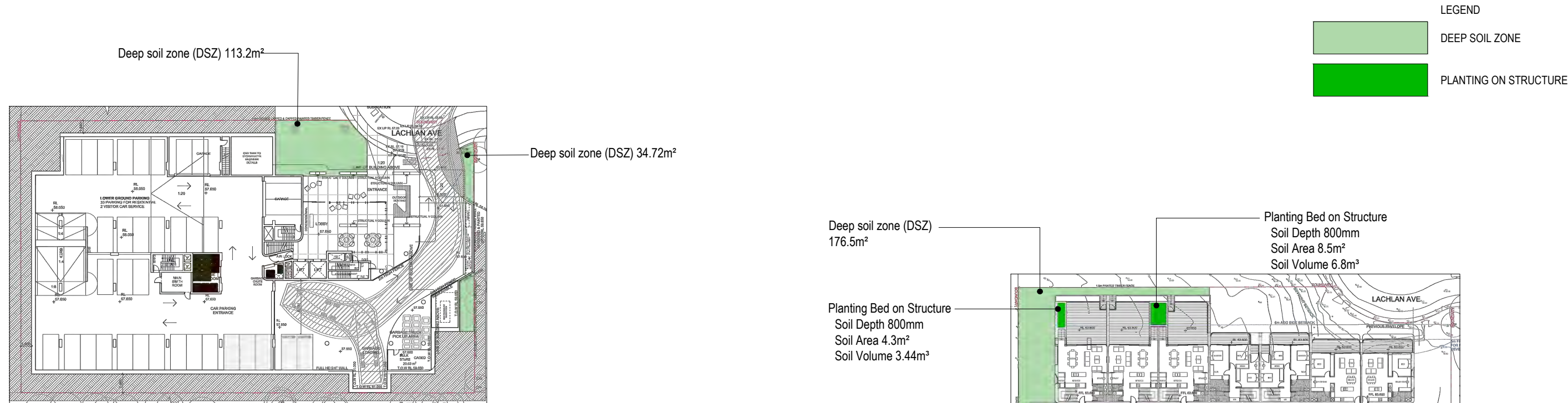


ORIGINAL DA SUBMISSION



UPDATED FACADE DESIGN AND 3D IMAGE





Site Area 2751.0m<sup>2</sup>  
Total Deep Soil Lower Ground Floor 147.9m<sup>2</sup>  
Total Deep Soil Mezzanine Floor 131.8m<sup>2</sup>  
Total Deep Soil Upper Ground Floor 337.6m<sup>2</sup>

Total Deep Soil 617.3m<sup>2</sup> (22.4%)

NOTES:

- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue
A	23/04/21	Preliminary Issue
B	05/05/21	DA Issue
C	07/05/21	DA Issue
D	16/05/22	DA Issue
E	12/08/22	DA Issue
F	23/08/22	DA Issue

Checked
AE
AE
AE
AE
AE

**SPACE**  
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd  
ABN 60 799 663 674 ACN 139 316 251  
info@spacedesigns.com.au  
spacedesigns.com.au  
P 02 9905 7870 F 02 9905 7657  
Suite 138, 117 Old Pittwater Rd,  
Brookvale NSW 2100

PROJECT:  
Proposed Residential Flat Building  
SITE ADDRESS:  
1-3 Lachlan Avenue, Macquarie Park

CLIENT: Ecoworld International  
DRN: C.Wallace (B.LArch)  
SCALE: N.T.S @A3  
PROJECT NO: 211854

DRAWING TITLE: **LANDSCAPE CALCULATIONS**  
DRAWING No: **L-08**  
Rev: **F**



LEGEND

BOUNDARY

EXISTING CONTOURS

ALUMINIUM EDGE

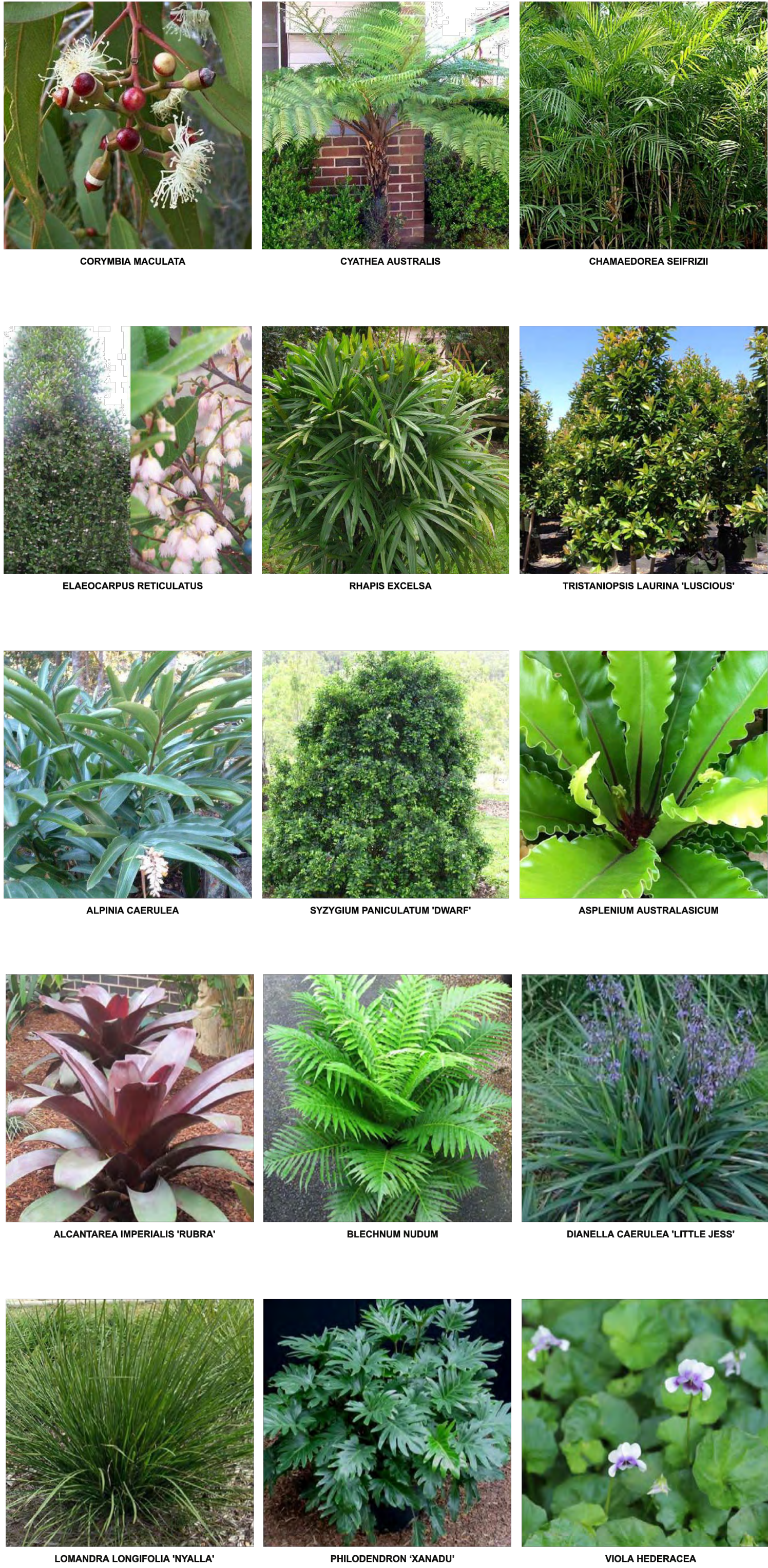
TILES

TURF

EXISTING TREE TO BE RETAINED  
REFER TO ARBORIST REPORT

PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
<b>TREES / PALMS</b>					
CM	CORYMBIA MACULATA	SPOTTED GUM	1	15m	75Ltr
CA	CYATHEA AUSTRALIS	ROUGH TREE FERN	5	4m	300mm
CS	CHAMAEDOREA SEIFRIZII	BAMBOO PALM	7	3m	45Ltr
ER	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	2	8m	75Ltr
RE	RHAPIS EXCELSA	RHAPIS PALM	9	3m	45Ltr
TL	TRISTANIOPSIS LAURINA 'LUSCIOUS'	LUSCIOUS WATER GUM	1	8m	75Ltr
<b>SHRUBS</b>					
AC	ALPINIA CAERULEA	NATIVE GINGER	5	2m	200mm
SP	SYZYGIUM PANICULATUM 'DWARF'	DWARF LILLY PILLY	5	3m	300mm
<b>GRASSES / GROUND COVERS</b>					
AA	ASPLENIUM AUSTRALASICUM	BIRDS NEST FERN	13	1m	200mm
AI	ALCANTAREA IMPERIALIS 'RUBRA'	GIANT BROMELIAD	2	1.5m	200mm
BN	BLECHNUM NUDUM	FISHBONE WATERFERN	5	0.8m	200mm
DC	DIANELLA CAERULEA 'LITTLE JESS'	LITTLE JESS	60	0.4m	140mm
LN	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA	8	0.8m	140mm
PX	PHILODENDRON SELLOUM 'XANADU'	PHILODENDRON	35	1m	250mm
VH	VIOLA HEDERACEA	NATIVE VIOLET	15	0.1m	140mm

PLANTING PALETTE





PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
CG CM ER	<b>TREES / PALMS</b>				
	CERATOPETALUM GUMMIFERUM	NSW XMAS BUSH	2	6m	45Ltr
	CORYMBIA MACULATA	SPOTTED GUM	1	15m	75Ltr
	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	2	8m	45Ltr
AC AS SW	<b>SHRUBS</b>				
	ALPINIA CAERULEA	NATIVE GINGER	2	2m	200mm
	ACIENA SMITHII 'CHERRY SURPRISE'	CHERRY SURPRISE	2	2.5m	200mm
	SYZYGIUM WILSONII	POWDERPUFF 'LILLY PILLY'	13	4m	300mm
AA DT HV LN	<b>GRASSES / GROUND COVERS</b>				
	ASPLENIUM AUSTRALASICUM	NESTS NEST FERN	6	1m	200mm
	DIANELLA TASMANICA 'TASRED'	BIRDS	9	0.4m	140mm
	HARDENBERGIA VIOLACEA	PURPLE CORAL PEA	9	0.2m	140mm
FX VH	LOMANDRA HYSTRIX 'TROPIC CASCADE'	TROPIC CASCADE	13	0.6m	140mm
	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA	9	0.8m	140mm
	PHILODENDRON SELLOUUM 'XANADU'	PHILODENDRON	6	1m	250mm
	VIOLA HEDERACEA	NATIVE VIOLET	30	0.1m	140mm

CERATOPETALUM GUMMIFERUM

CORYMBIA MACULATA

ELAEOCARPUS RETICULATUS

ALPINA CAERULEA

ACMENA SMITHII 'CHERRY SURPRISE'

SYZYGIUM WILSONII

ASPENIUM AUSTRALASICUM

DIANELLA 'TASBREE'

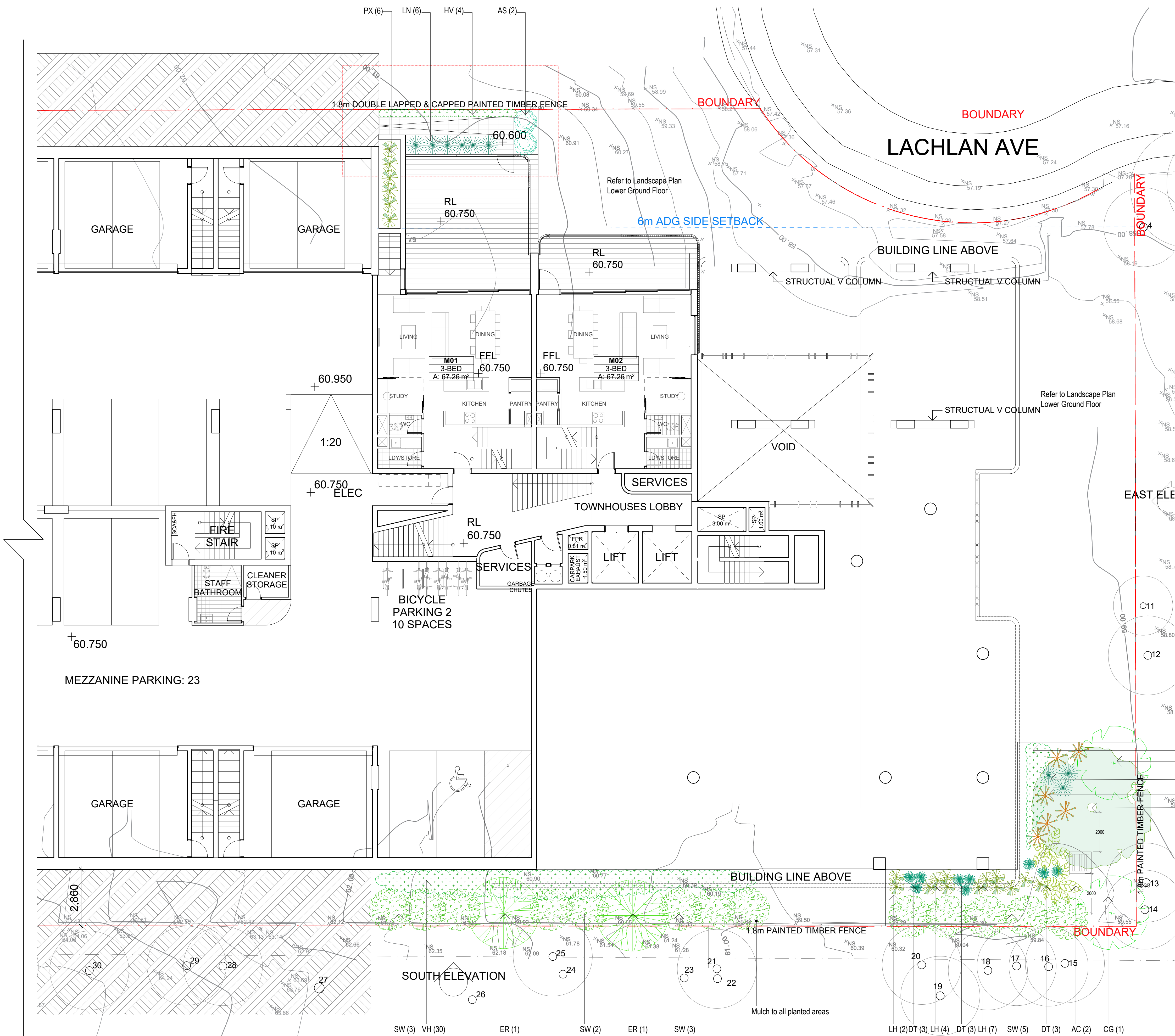
HARDENERGIA VOLACEA

LOMANDRA HYSTRIX 'TROPIC CASCADE'

LOMANDRA LONGIFOLIA 'NALLA'

PHILOEDENDRON 'XANADU'

VIOLA HEDERACEA

Rev: D



LEGEND

- BOUNDARY
- EXISTING CONTOURS
- ALUMINIUM EDGE
- GROUND COVER
- RETAINING WALL
- PROPOSED LEVELS
- TURF
- EXISTING TREE TO BE RETAINED  
REFER TO ARBORIST REPORT

PROPOSED PLANT SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE	
TREES / PALMS						
BI	BANKSIA INTEGRIFOLIA	COAST BANKSIA	4	6m	300mm	
CM	CORYMBIA MACULATA	SPOTTED GUM	1	15m	75Ltr	
ER	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	5	8m	45Ltr	
MT	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	4	3m	45Ltr	
PC	PYRUS CALLERYANA 'CAPITAL'	CAPITAL PEAR	1	8m	45Ltr	
WA	WATERHOUSIA FLORIBUNDA 'SWEEPER'	SWEEPER	5	10m	45Ltr	
SHRUBS						
AC	ALPINEA CAERULEA	NATIVE GINGER	36	2m	200mm	
AS	ACMENA SMITHII 'SUBLIME'	SUBLIME	2	5m	300mm	
CD	CARISSA MACROCARPA 'DESERT STAR'	DESERT STAR	29	1m	200mm	
CV	CALLISTEMON VIMINALIS 'SLIM'	SLIM BOTTLEBRUSH	7	3m	300mm	
DE	DORYANTHES EXCELSA	GYMEA LILY	4	2m	250mm	
SA	SYZYGIUM AUSTRALE 'STRAIGHT AND NARROW'	NARROW LILLY PILLY	6	6m	250mm	
SW	SYZYGIUM WILSONII	POWDERPUFF LILLY PILLY	9	4m	300mm	
VO	VIBURNUM ODORATISSIMUM 'DENSE FENCE'	DENSE FENCE	9	2.5m	250mm	
WF	WESTRINGIA FRUTICOSA 'NARINGA'	NARINGA	11	2m	250mm	
GRASSES / GROUND COVERS						
AA	ASPENIUM AUSTRALASICUM	BIRDS NEST FERN	7	1m	200mm	
DJ	DIANELLA 'LITTLE JESS'	LITTLE JESS LILY	103	0.4m	140mm	
DR	DICHONDRA REPENS	KIDNEY WEED	103	0.1m	140mm	
LN	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA	17	0.8m	140mm	
LS	LIRIOPE 'SILVER DRAGON'	VARIEGATED LIRIOPE	54	0.5m	140mm	
PR	PHILODENDRON 'ROJO CONGO'	ROJO CONGO PHILODENDRON	6	1m	200mm	
PX	PHILODENDRON SELLOUM 'XANADU'	PHILODENDRON	55	1m	200mm	



LEGEND

BOUNDARY

EXISTING CONTOURS

ALUMINIUM EDGE

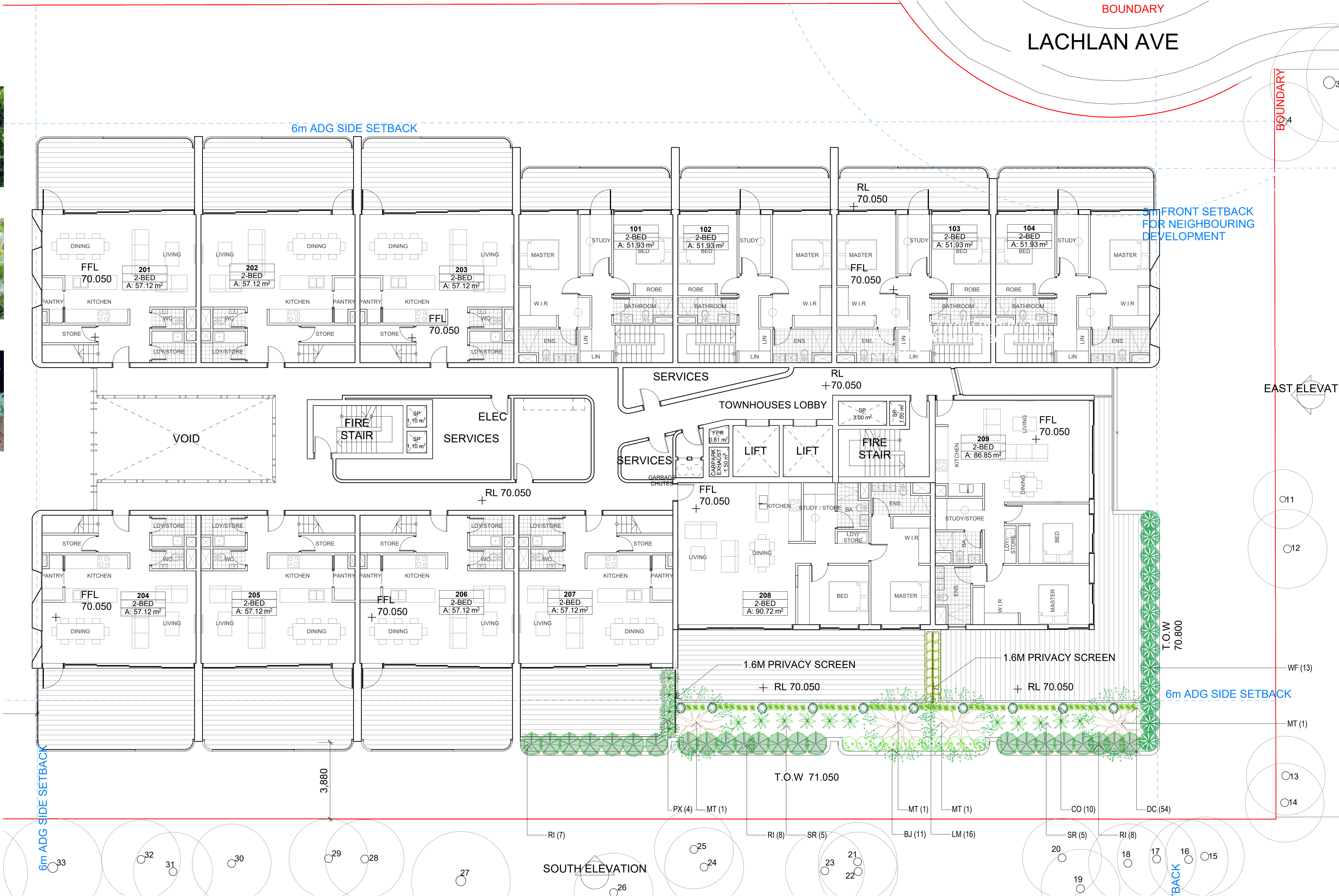
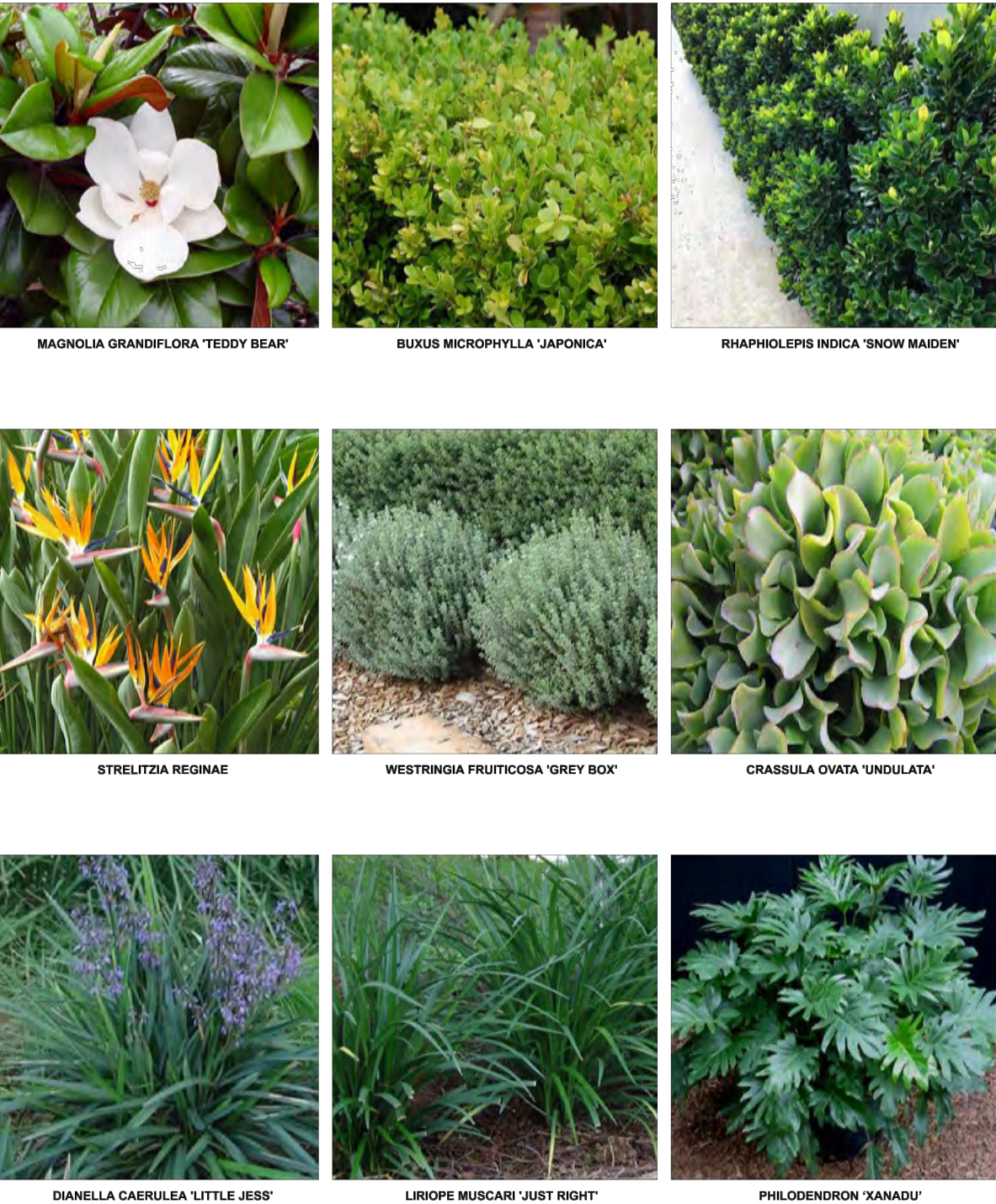
BALCONY

PROPOSED PLANTING

EXISTING TREE TO BE RETAINED  
REFER TO ARBORIST REPORT

PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
MT	<b>TREES</b>				
	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	4	3m	300mm
BJ RI SR WF	<b>SHRUBS</b>				
	BUXUS MICROPHYLLA 'JAPONICA'	JAPANESE BOX	11	1m	250mm
	RHAPHIOLEPIS INDICA 'SNOW MAIDEN'	SNOW MAIDEN	23	1m	250mm
	STRELITZIA REGINAE	BIRD OF PARADISE	10	1.2m	250mm
	WESTRINGIA FRUTICOSA 'GREY BOX'	GREY BOX WESTRINGIA	13	0.9m	250mm
CO DC LM PX	<b>GRASSES / GROUND COVERS / SUCCULENTS</b>				
	CRASSULA OVATA 'UNDULATA'	CRASSULA	10	0.5m	200mm
	DIANELLA CAERULEA 'LITTLE JESS'	LITTLE JESS	54	0.4m	200mm
	LIRIOPE MUSCARI 'JUST RIGHT'	JUST RIGHT	16	0.5m	200mm
	PHILODENDRON SELLOUM 'XANADU'	PHILODENDRON	4	1m	200mm

PLANT PALETTE





LEGEND

BOUNDARY

EXISTING CONTOURS

ALUMINIUM EDGE

BALCONY

PROPOSED PLANTING

EXISTING TREE TO BE RETAINED  
REFER TO ARBORIST REPORT

PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
BJ RI	<b>SHRUBS</b> BUXUS MICROPHYLLA 'JAPONICA' RHAPHIOLEPIS INDICA 'SNOW MAIDEN'	JAPANESE BOX SNOW MAIDEN	25	1m	250mm
			22	0.8m	250mm
LF LM	<b>GRASSES / GROUND COVERS / SUCCULENTS</b> LOMANDRA FLUVIATILIS 'SHARA' LIRIOPE MUSCARI 'JUST RIGHT'	SHARA JUST RIGHT LIRIOPE	11	0.5m	200mm
			12	0.6m	200mm

PLANT PALETTE



BUXUS MICROPHYLLA 'JAPONICA'



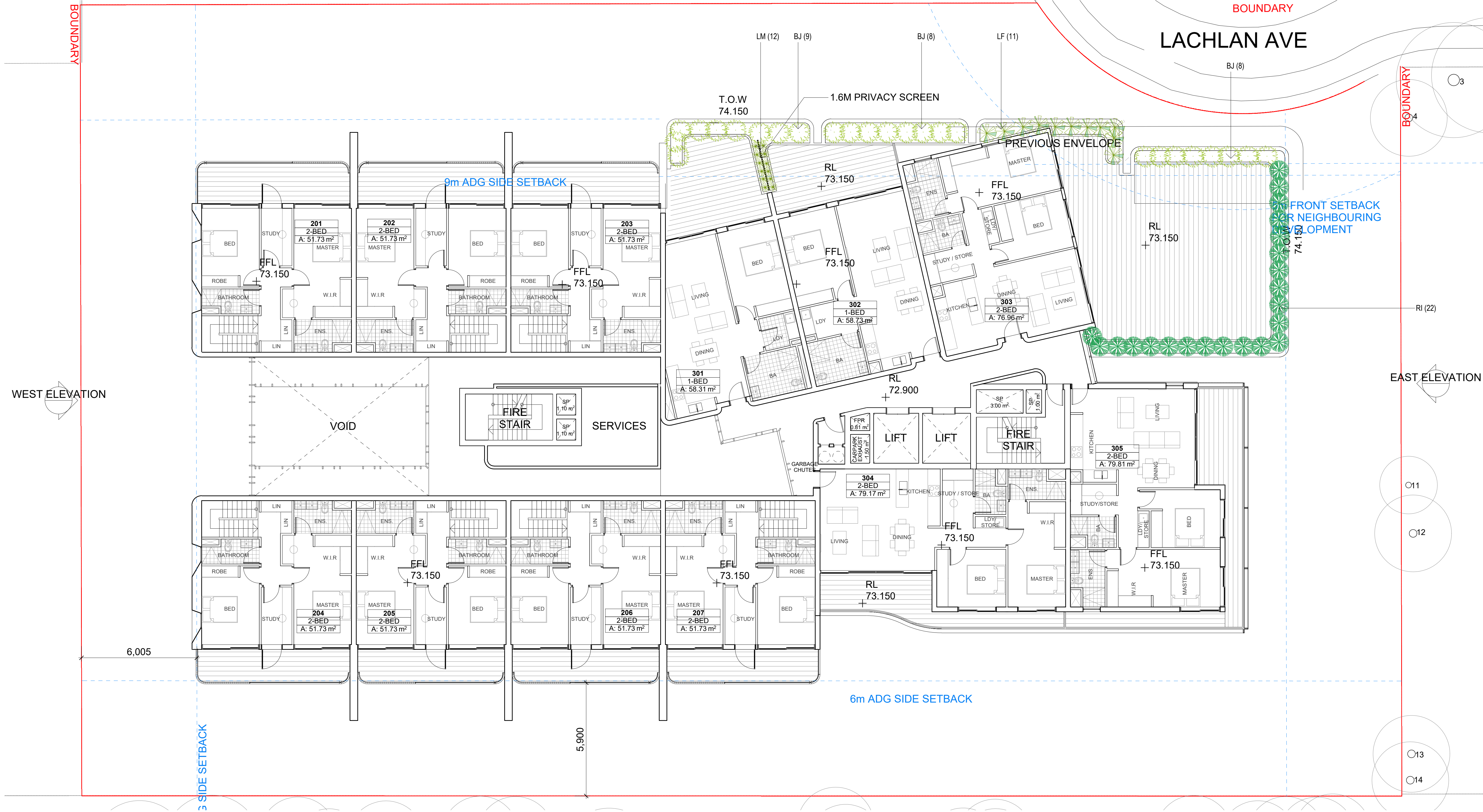
RHAPHIOLEPIS INDICA 'SNOW MAIDEN'



LOMANDRA FLUVIATILIS 'SHARA'



LIRIOPE MUSCARI 'JUST RIGHT'





LEGEND

BOUNDARY

EXISTING CONTOURS

ALUMINIUM EDGE

BALCONY

PROPOSED PLANTING

EXISTING TREE TO BE RETAINED  
REFER TO ARBORIST REPORT

PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
CV RI	<b>SHRUBS</b>				
	CALLISTEMON VIMINALIS 'GREEN JOHN'	GREEN JOHN BOTTLEBRUSH	26	0.8m	250mm
	RHAPHIOLEPIS INDICA 'ORIENTAL PEARL'	ORIENTAL PEARL	18	1m	250mm
CB DT LF LM	<b>GRASSES / GROUND COVERS / SUCCULENTS</b>				
	CRASSULA ARBORESCENS 'BLUEBIRD'	BLUEBIRD	13	0.6m	250mm
	DIANELLA TASMANICA 'TASRED'	TASRED DIANELLA	18	0.5m	200mm
	LOMANDRA FLUVIATILLIS 'SHARA'	SHARA	16	0.5m	200mm
	LIRIOPE MUSCARI 'JUST RIGHT'	JUST RIGHT	23	0.5m	200mm

PLANT PALETTE





LEGEND

BOUNDARY

EXISTING CONTOURS

TILES

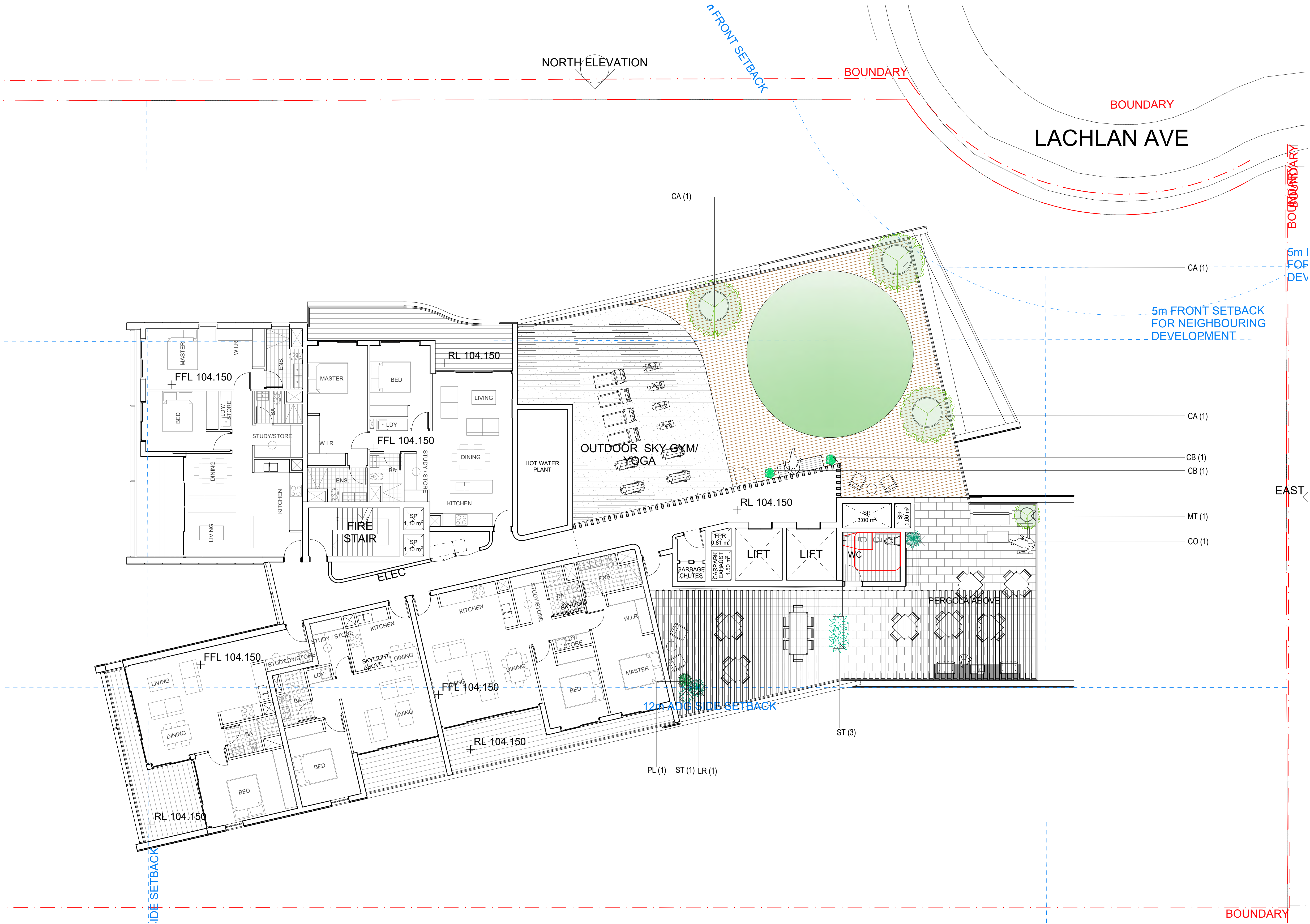
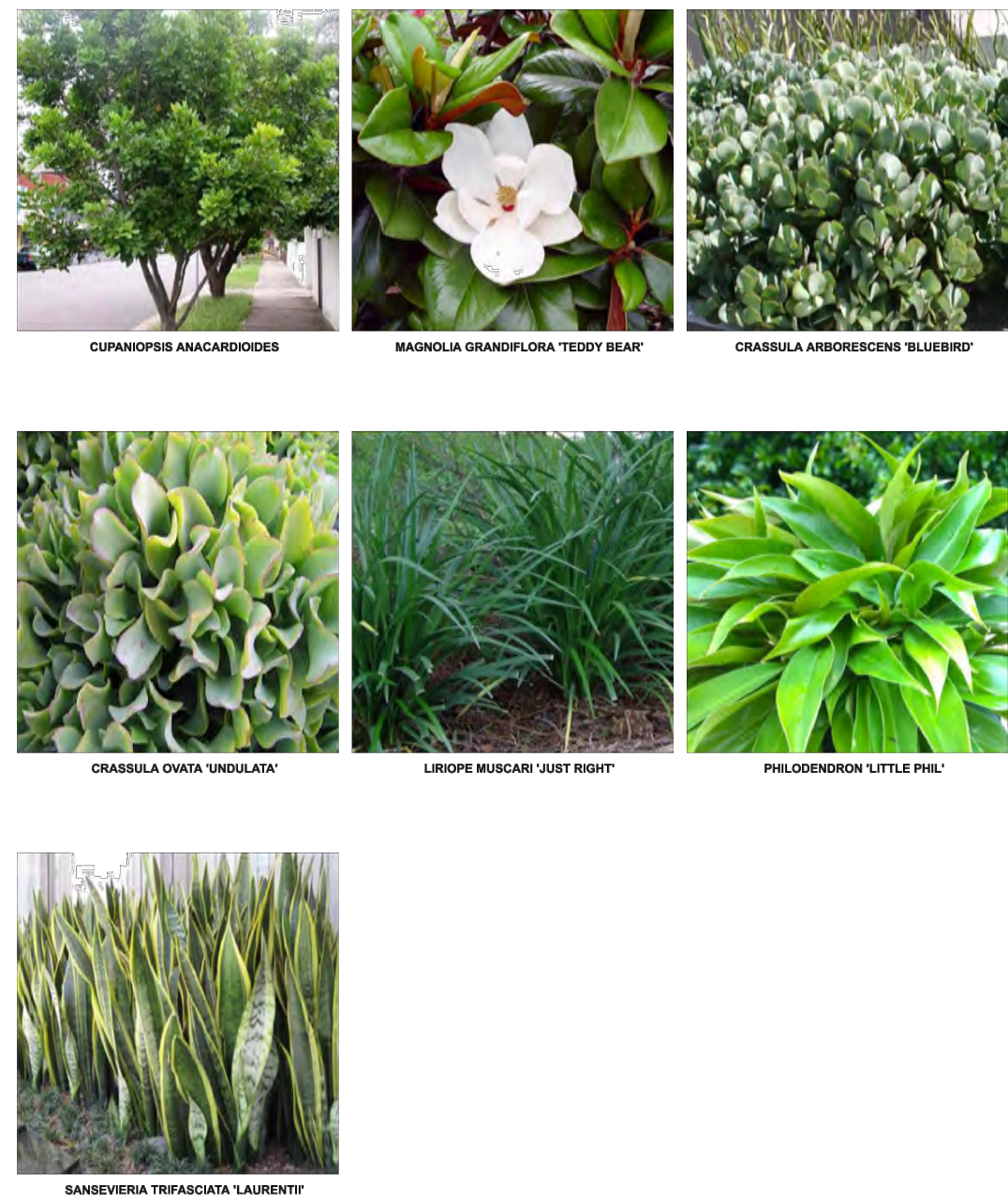
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ARTIFICIAL TURF

EXISTING TREE TO BE RETAINED  
REFER TO ARBORIST REPORT

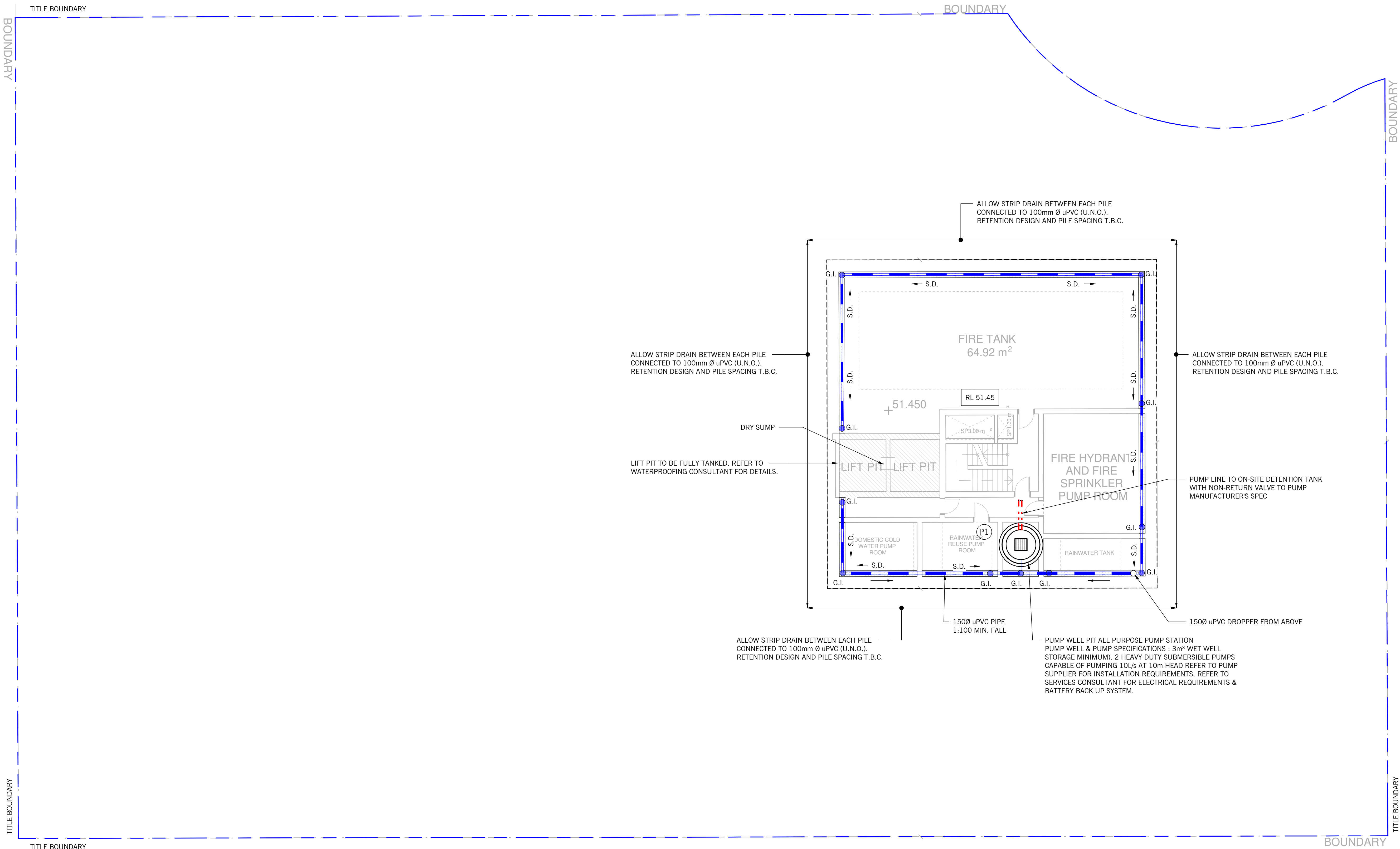
PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
CA MT	<b>TREES</b>				
	CUPANOPSIS ANACARDIODES	TUCKEROO	3	6m	45Ltr
	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	1	3m	45Ltr
CB CO LM PL ST	<b>GRASSES / GROUND COVERS / SUCCULENTS</b>				
	CRASSULA ARBORESCENS 'BLUEBIRD'	BLUEBIRD	2	0.6m	250mm
	CRASSULA OVATA 'UNDULATA'	CRASSULA	1	0.6m	250mm
	LIRIOPE MUSCARI 'JUST RIGHT'	JUST RIGHT	1	0.5m	200mm
	PHILODENDRON 'LITTLE PHIL'	LITTLE PHIL	1	0.3m	200mm
	SANSEVIERIA TRIFASCIATA 'LAURENTII'	MOTHER IN LAWS TONGUE	4	0.5m	250mm

## PLANT PALETTE





LEGEND	
	PIT NUMBER
	GRATED PIT
	JUNCTION PIT
	EXISTING JUNCTION PIT
	EXISTING SIDE ENTRY PIT
I.O.	INSPECTION OPENING
G.I.	GRATED INLET
	FALL DIRECTION
	VERTICAL STRIP DRAIN
	VERTICAL HARD PIPE
	STORMWATER PIPE
	STORMWATER PIPE LAID OVER OR UNDER
	100 DIA. AGRICULTURAL DRAIN LAID OVER TO 1:100 FALL
	A.G. DRAIN LAID OVER OR UNDER
	PUMP OUT FLOW DRAIN LINE
	RIISING MAIN LINE
S.D.	SPOON DRAIN
	NEW PAVEMENT
	NEW LANDSCAPING
+ EX. 00.00	EXISTING SURFACE LEVEL
+ P. 00.00	EXISTING SURFACE LEVEL
	EXISTING KERB & CHANNEL
	NEW KERB & CHANNEL TO COUNCIL REQUIREMENTS
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING ELECTRICITY
	EXISTING GAS
	EXISTING TELECOMMUNICATION
	EXISTING WATER MAIN
	ON-SITE DETENTION TANK



## BASEMENT 2 - DRAINAGE PLAN

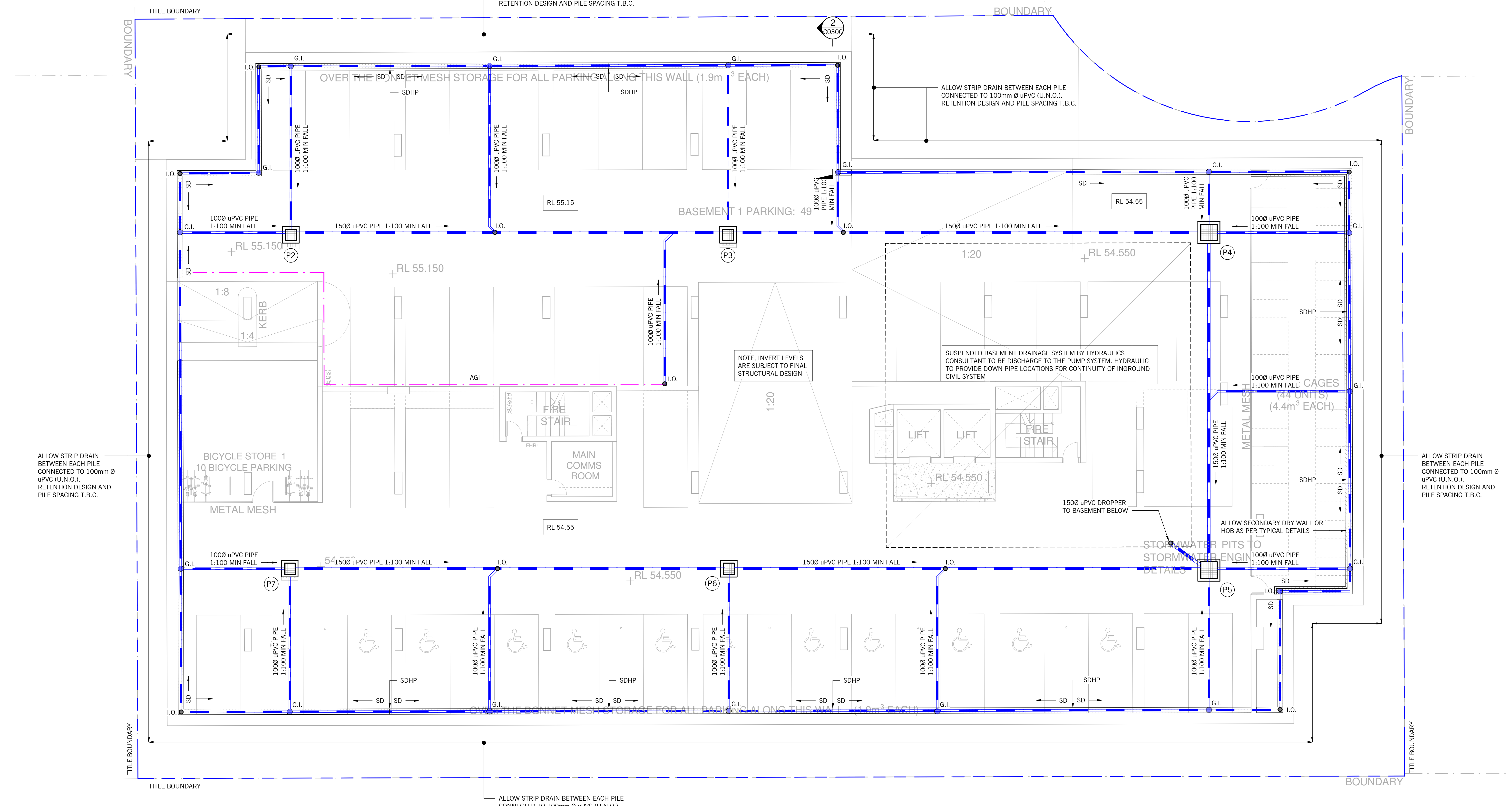
STORMWATER PIT SCHEDULE						
PARK	TYPE	SIZE	COVER TYPE	COVER CLASS	COVER LEVEL	REMARKS
P1	JUNCTION	1500 DIA.	GRADED	AS PER ASS9996, HELLGAARD	51.45	PUMP WELL PIT
P2	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	55.15	
P3	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	55.15	
P4	JUNCTION	900 x 900	GRADED	AS PER ASS9996, HELLGAARD	54.55	
P5	JUNCTION	900 x 900	GRADED	AS PER ASS9996, HELLGAARD	54.55	
P6	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	54.55	
P7	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	54.55	
P8	JUNCTION	900 x 900	GRADED	AS PER ASS9996, HELLGAARD	58.86	PROVIDE SPIL STORMSACK
P9	JUNCTION	900 x 900	GRADED	AS PER ASS9996, HELLGAARD	61.40	SURCHARGE PIT
P10	JUNCTION	900 x 900	GRADED	AS PER ASS9996, HELLGAARD	62.00	PROVIDE SPIL STORMSACK
P11	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	64.63	PROVIDE SPIL STORMSACK
P12	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	63.68	PROVIDE SPIL STORMSACK
P13	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	TBC	PROVIDE SPIL STORMSACK
P14	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	TBC	PROVIDE SPIL STORMSACK
P15	JUNCTION	600 x 600	GRADED	AS PER ASS9996, HELLGAARD	TBC	PROVIDE SPIL STORMSACK
P16	JUNCTION	900 x 900	GATIC	SOLID COVER	TBC	PROVIDE SPIL STORMSACK





[illegible]

LEGEND	
	PIT NUMBER
	GRATED PIT
	JUNCTION PIT
	EXISTING JUNCTION PIT
	EXISTING SIDE ENTRY PIT
I.O.	INSPECTION OPENING
G.I.	GRATED INLET
	FALL DIRECTION
	VERTICAL STRIP DRAIN
	VERTICAL HARD PIPE
	STORMWATER PIPE
	STORMWATER PIPE LAID OVER OR UNDER
	100 DIA. AGRICULTURAL DRAIN LAID TO 1:100 FALL
	AGI DRAIN LAID OVER OR UNDER
	PUMP OUT FLOW DRAIN LINE
	RIISING MAIN
	SPOON DRAIN
	NEW PAVEMENT
	NEW LANDSCAPING
+EX. 00.00	EXISTING SURFACE LEVEL
+P. 00.00	EXISTING SURFACE LEVEL
	EXISTING KERB & CHANNEL
	NEW KERB & CHANNEL TO COUNCIL REQUIREMENTS
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING ELECTRICITY
	EXISTING GAS
	EXISTING TELECOMMUNICATION
	EXISTING WATER MAIN
	ON-SITE DETENTION TANK



**NOTES:**

1. THIS DRAINAGE DESIGN IS BASED ON LPO DECISION BY CITY OF RYDGE DATED 29/09/2020. REFERENCE DANIEL PEARSE AND IS SUBJECT TO AUTHORITY REVIEW AND APPROVAL. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEM REQUIRED.
2. THE DESIGN IS SUBJECT TO ARCHITECTURAL COUNCIL REVIEW. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED. (ALL LEVELS APPROXIMATE BASED FROM HAMMOND, SMALLEE & CO PTY LTD. REF: 14343 DATED: 14/05/18)
3. THE DESIGN ASSUMES THAT GROUND SURFACE IS NOT EXPOSED WITHIN THE BASEMENT EXCAVATION. PENDING GEOTECHNICAL REPORT. SHOULD GROUND WATER BE IDENTIFIED WITHIN REPORT A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. WITH POTENTIAL SEALED ASSUMES.
4. THE DESIGN ASSUMES THAT HYDRAULIC DOWN PIPES AND OVERFLOWS INCLUDING TEST DRAINS ARE NOT CONNECTED TO THE BASEMENT DRAINAGE SYSTEMS, SHOULD DOWN PIPES AND OVERFLOWS ARE CONNECTED TO THE MAINS IN A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. TOTAL FLOW RATES, FLOW DURATION AND AVERAGE CURRENTANCE INTERVAL (ARI) MUST BE PROVIDED BY RELEVANT CONSULTANTS.
5. SUBJECT TO VERIFICATION OF THE DRAINAGE DEPTH ON SITE.
6. SUBJECT TO REVIEW BY TRAFFIC ENGINEER.
7. THE DESIGN RECEIPT AND REVIEW OF HYDRAULICS AND FIRE SERVICE CONSTRUCTION ISSUES DRAWINGS FOR COORDINATION.
8. SUBJECT TO RECEIVED UP TO DATE FEATURE LEVEL SURVEY AND IN GROUND SERVICES SURVEY. THE DESIGNER WILL BE RESPONSIBLE FOR THE DESIGN OF THE EXCAVATION. BUILDER TO MAKE ALLOWANCE TO ENGAGE SPECIALIST CONTRACTOR TO CARRY OUT FOR THE ADDITIONAL WORKS. DETAILED DESIGN SUCH AS CROSSOVER, KERB AND CHANNEL, NATURE STRIP, STREET LIGHTING AND FOOTPATH MUST BE PROVIDED BY RELEVANT CONSULTANTS.
9. THE DESIGN ASSUMES THAT THE DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OF THE RELEVANT AUTHORITIES PRIOR COMMENCEMENT OF ANY WORK. REFER TO PLANNING OR DEVELOPMENT APPLICATION AND DISABILITY ACCESS REQUIREMENT.
10. ANY CHANGES TO THE COUNCIL APPROVE LOCAL ACT OF DISCONNECT CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

EXISTING SERVICES NOTES:

- BUILDER TO CONFIRM EXACT LOCATION, DEPTH AND SIZE OF EXISTING SERVICE PRIOR COMMENCEMENT OF ANY WORKS.
- IF ANY PROPOSED DRAINAGE SYSTEM INTERSECT WITH EXISTING SERVICES, CONTACT WEBBER DESIGN OFFICE FOR FURTHER ASSESSMENT

ALL IN-GROUND STORMWATER TO BE INSPECTED BY A QUALIFIED REGISTERED CIVIL ENGINEER  
ARRANGED BY BUILDER OR CIVIL CONTRACTOR ON SITE. ALL IN-GROUND STORMWATER INSPECTIONS  
ARE NOT WEBBER DESIGN SCOPE. PROVIDE REG126 INSPECTION FOR ALL INSTALLED IN GROUND  
STORMWATER TO AUTHORITY PLANNING PERMIT REQUIREMENTS

ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

INVERT LEVELS ARE SUBJECT TO FINAL STRUCTURAL DESIGN

BASEMENT 1 - DRAINAGE PLAN

SCALE: 1 : 100

STORMWATER PIT SCHEDULE						
MARK	TYPE	SIZE	COVER TYPE	COVER CLASS	COVER LEVEL	REMARKS
P1	JUNCTION	1500 DIA	GRADED	AS PER AS3996, HEELGUARD	51.45	PUMP WELL PIT
P2	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	55.15	
P3	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	55.15	
P4	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	54.55	
P5	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	54.55	
P6	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	54.55	
P7	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	54.55	
P8	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	58.86	PROVIDE SPEL STORMSAC
P9	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	57.45	SURCHARGE PIT
P10	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	62.00	PROVIDE SPEL STORMSAC
P11	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	62.63	PROVIDE SPEL STORMSAC
P12	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	63.68	PROVIDE SPEL STORMSAC
P13	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	63.68	PROVIDE SPEL STORMSAC
P14	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSAC
P15	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSAC
P16	JUNCTION	900 x 900	SATIC	SOUL COVER	TBC	PROVIDE SPEL STORMSAC



CIVIL DRAWING			
DATE	DESIGNED BY	CHECKED BY	
APR'22	GP	GP	
SCALES AT JO	DRAWN BY	APPROVED BY	
As indicated	GP	PW	
JOB No.	DRAWING No.	REV.	
20106	C0090	P2	
DRAWING INTENDED TO BE PRINTED IN COLOUR			

PRELIMINARY ISSUE

0 1 2 3 4 5 6 7 8

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DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS

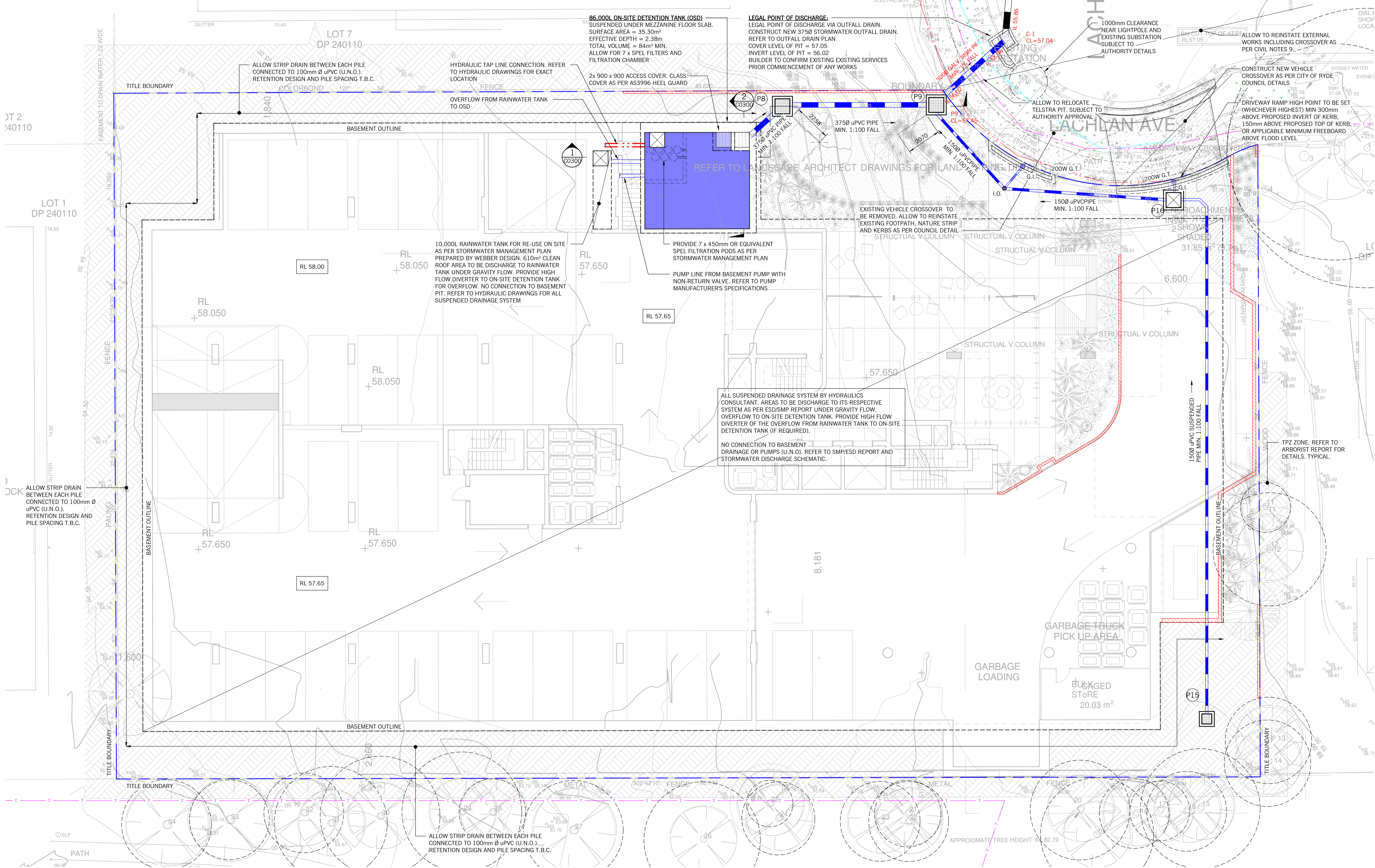
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS.



Regulated Design Record			
Project Address:		MACQUARIE PARK, NSW	
Project Title:		1-3 LACHLAN AVENUE	
Consent No:		Body Corporate Reg No:	
Drawing Title:		Drawing No:	
LOWER GROUND FLOOR - DRAINAGE PLAN		C0100	
Rev	Date	Description	DP FULL NAME
	dd.mm.yy		Reg No

## LEGEND

	PIT NUMBER
	GRADED PIT
	JUNCTION PIT
	EXISTING JUNCTION PIT
	EXISTING SIDE ENTRY PIT
	INSPECTION OPENING
	GRADED INLET
	FALL DIRECTION
	VERTICAL STRIP DRAIN
	VERTICAL HARD PIPE
	STORMWATER PIPE
	STORMWATER PIPE LAID OVER OR UNDER
	100 DIA. AGRICULTURAL DRAIN LAID TO 1:100 FALL
	AGI. DRAIN LAID OVER OR UNDER
	PUMP OUT FLOW DRAIN LINE
	RISING MAIN LINE
	SPOON DRAIN
	NEW PAVEMENT
	NEW LANDSCAPING
	EXISTING SURFACE LEVEL
	EXISTING SURFACE LEVEL
	EXISTING KERB & CHANNEL
	NEW KERB & CHANNEL TO COUNCIL REQUIREMENTS
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING ELECTRICITY
	EXISTING GAS
	EXISTING TELECOMMUNICATION
	EXISTING WATER MAIN
	ON-SITE DETENTION TANK



LOWER GROUND FLOOR - DRAINAGE PLAN

SCALE: 1:100

STORMWATER PIT SCHEDULE						
MARK	TYPE	SIZE	COVER TYPE	COVER CLASS	COVER LEVEL	REMARKS
P1	JUNCTION	1500 DIA	GRADED	AS PER AS3996, HEELGUARD	51.45	PUMP WELL PIT
P2	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	55.15	
P3	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	55.15	
P4	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	54.55	
P5	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	54.55	
P6	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	54.55	
P7	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	54.55	
P8	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	58.85	PROVIDE SPEL STORMSACK
P9	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	57.45	SURCHARGE PIT
P10	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	62.00	PROVIDE SPEL STORMSACK
P11	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	64.63	PROVIDE SPEL STORMSACK
P12	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	63.68	PROVIDE SPEL STORMSACK
P13	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P14	JUNCTION	900 x 900	GRADED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P15	JUNCTION	600 x 600	GRADED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P16	JUNCTION	900 x 900	GATIC	SOLID COVER	TBC	PROVIDE SPEL STORMSACK

City of Ryde  
Development Engineering Service  
Approved Engineering Plans  
Application Number: DA-2022/0187  
Council Officer: Emily Lu  
Date: 23/09/2022

- NOTES:
- THIS DRAINAGE DESIGN IS BASED ON LPD ADVICE BY CITY OF RYDE, DATED 28/09/20. REFERENCE DANIEL PEARSE AND IS SUBJECT TO AUTHORITY REVIEW AND APPROVAL. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEM REQUIRED.
  - FOOTPATH RL SUBJECT TO ARCHITECTURAL AND COUNCIL REVIEW. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED. (ALL LEVELS APPROXIMATE BASED FROM HAMMOND, SMELLIE & CO PTY LTD. REF: 14344 DATED: 14/05/18)
  - THE DESIGN ASSUMES THAT GROUND WATER IS NOT ENCOUNTERED WITHIN THE BASEMENT EXCAVATION. PENDING GEOTECHNICAL REPORT. SHOULD GROUND WATER BE IDENTIFIED WITHIN REPORT A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED WITH POTENTIAL SEALED BASEMENT
  - THE DESIGN ASSUMES THAT HYDRAULIC DOWN PIPES AND OVERFLOWS INCLUDING TEST DRAINS ARE NOT CONNECTED TO THE BASEMENT DRAINAGE SYSTEMS. SHOULD DOWN PIPES AND OVERFLOWS ARE CONNECTED TO THE BASEMENT, A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. TOTAL FLOW RATES, FLOW DURATION AND AVERAGE RECURRENCE INTERVAL (ARI) MUST BE PROVIDED BY RELEVANT CONSULTANTS.
  - SUBJECT TO VERIFICATION OF THE GROUNDWATER DEPTH ON SITE.
  - SUBJECT TO REVIEW BY TRAFFIC ENGINEER.
  - SUBJECT TO RECEIPT AND REVIEW OF HYDRAULICS AND FIRE SERVICE CONSTRUCTION ISSUED DRAWINGS FOR COORDINATION.
  - SUBJECT TO RECEIVED UP TO DATE FEATURE LEVEL SURVEY AND IN GROUND SERVICES SURVEY.
  - FOR ANY PUBLIC DOMAIN WORKS OUTSIDE THE BUILDING AND SITE BOUNDARY, BUILDERS TO MAKE ALLOWANCE TO ENGAGE SPECIALIST CONTRACTOR TO CARRY OUT FOR THE ADDITIONAL WORKS. DETAILED DESIGN SUCH AS CROSSOVER, KERB AND CHANNEL, NATURE STRIP, STREET FURNITURE AND FOOTPATH MUST BE IN ACCORDANCE AND APPROVED BY COUNCIL AND ITS RELEVANT AUTHORITIES PRIOR COMMENCEMENT OF ANY WORK. REFER TO PLANNING OR DEVELOPMENT APPLICATION AND DISABILITY ACCESS REQUIREMENT.
  - ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

## EXISTING SERVICES NOTES:

- BUILDER TO CONFIRM EXACT LOCATION, DEPTH AND SIZE OF EXISTING SERVICES PRIOR COMMENCEMENT OF ANY WORKS.
- IF ANY PROPOSED DRAINAGE SYSTEM INTERSECT WITH EXISTING SERVICES, CONTACT WEBBER DESIGN OFFICE FOR FURTHER ASSESSMENT.

ALL IN-GROUND STORMWATER TO BE INSPECTED BY A QUALIFIED REGISTERED CIVIL ENGINEER ARRANGED BY BUILDER OR CIVIL CONTRACTOR ON SITE. ALL IN-GROUND STORMWATER INSPECTIONS ARE NOT WEBBER DESIGN SCOPE. PROVIDE REG126 INSPECTION FOR ALL INSTALLED IN-GROUND STORMWATER TO AUTHORITY PLANNING PERMIT REQUIREMENTS

ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

INVERT LEVELS ARE SUBJECT TO FINAL STRUCTURAL DESIGN

PRELIMINARY ISSUE

Rev	Description	Eng	Draft	Date	Rev	Description	Eng	Draft	Date
P1	FOR DA SUBMISSION	GP	GP	28.04.22					
P2	FOR DA SUBMISSION	GP	GP	22.08.22					
P3	FOR DA SUBMISSION	GP	GP	23.08.22					

Webber Design  
STRUCTURAL ENGINEERING  
10/100, LACHLAN AVENUE  
MACQUARIE PARK, NSW 2107  
T: 02 9588 0000  
F: 02 9588 0001  
E: info@webberdesign.com.au  
W: www.webberdesign.com.au

NOTES:

1. THIS DRAINAGE DESIGN IS BASED ON LPD ADVICE BY CITY OF RYDE, DATED 28/09/20. REFERENCE DANIEL PEARSE AND IS SUBJECT TO AUTHORITY REVIEW AND APPROVAL. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED.

2. FOOTPATH RL SUBJECT TO ARCHITECTURAL AND COUNCIL REVIEW. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED. (ALL LEVELS APPROXIMATE BASED FROM HAMMOND, SMELLIE & CO PTY LTD. REF: 14344 DATED: 14/05/18)

3. THE DESIGN ASSUMES THAT GROUND WATER IS NOT ENCOUNTERED WITHIN THE BASEMENT EXCAVATION. PENDING GEOTECHNICAL REPORT. SHOULD GROUND WATER BE IDENTIFIED WITHIN REPORT A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED WITH POTENTIAL SEALED BASEMENT

4. THE DESIGN ASSUMES THAT HYDRAULIC DOWN PIPES AND OVERFLOWS INCLUDING TEST DRAINS ARE NOT CONNECTED TO THE BASEMENT DRAINAGE SYSTEMS. SHOULD DOWN PIPES AND OVERFLOWS ARE CONNECTED TO THE BASEMENT, A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. TOTAL FLOW RATES, FLOW DURATION AND AVERAGE RECURRENCE INTERVAL (ARI) MUST BE PROVIDED BY RELEVANT CONSULTANTS.

5. SUBJECT TO VERIFICATION OF THE GROUNDWATER DEPTH ON SITE.

6. SUBJECT TO REVIEW BY TRAFFIC ENGINEER.

7. SUBJECT TO RECEIPT AND REVIEW OF HYDRAULICS AND FIRE SERVICE CONSTRUCTION ISSUED DRAWINGS FOR COORDINATION.

8. SUBJECT TO RECEIVED UP TO DATE FEATURE LEVEL SURVEY AND IN GROUND SERVICES SURVEY.

9. FOR ANY PUBLIC DOMAIN WORKS OUTSIDE THE BUILDING AND SITE BOUNDARY, BUILDERS TO MAKE ALLOWANCE TO ENGAGE SPECIALIST CONTRACTOR TO CARRY OUT FOR THE ADDITIONAL WORKS. DETAILED DESIGN SUCH AS CROSSOVER, KERB AND CHANNEL, NATURE STRIP, STREET FURNITURE AND FOOTPATH MUST BE IN ACCORDANCE AND APPROVED BY COUNCIL AND ITS RELEVANT AUTHORITIES PRIOR COMMENCEMENT OF ANY WORK. REFER TO PLANNING OR DEVELOPMENT APPLICATION AND DISABILITY ACCESS REQUIREMENT.

10. ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

CLIENT  
ECOWORLD INTERNATIONAL

PROJECT  
1-3 LACHLAN AVENUE  
MACQUARIE PARK, NSW

TITLE  
LOWER GROUND FLOOR -  
DRAINAGE PLAN

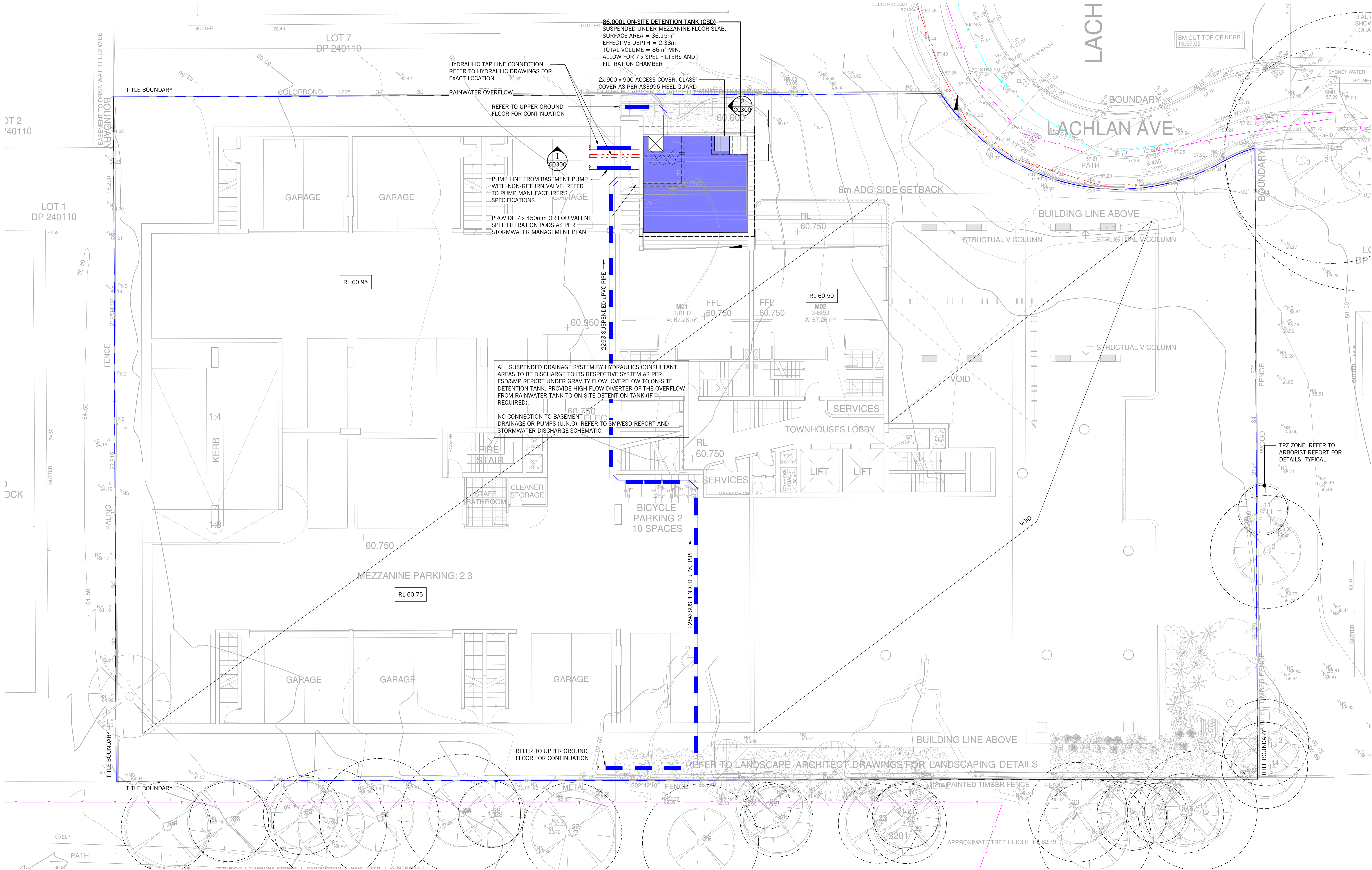
CIVIL DRAWING			
DATE	DESIGNED BY	CHECKED BY	
APR22	GP	GP	
DRAWN BY	APPROVED BY		
As indicated	GP	PW	
DRAWING No.		REV.	
20106	C0100	P3	
DRAWINGS INTENDED TO BE PRINTED IN COLOUR			



Regulated Design Record				
Project Address:		MACQUARIE PARK, NSW		
Project Title:		1-3 LACHLAN AVENUE		
Consent No:		Body Corporate Reg No:		
Drawing Title:		C0110		
Drawing Title:		MEZZANINE FLOOR - DRAINAGE PLAN		
Rev	Date dd.mm.yy	Description	DP FULL NAME	Reg No

#### LEGEND

	PIT NUMBER
	GRATED PIT
	JUNCTION PIT
	EXISTING JUNCTION PIT
	EXISTING SIDE ENTRY PIT
	INSPECTION OPENING
	GRATED INLET
	FALL DIRECTION
	VERTICAL STRIP DRAIN
	VERTICAL HARD PIPE
	STORMWATER PIPE
	STORMWATER PIPE LAID OVER OR UNDER
	100 DIA. AGRICULTURAL DRAIN LAID TO 1:100 FALL
	AGI DRAIN LAID OVER OR UNDER
	PUMP OUT FLOW DRAIN LINE
	RISING MAIN LINE
	SPOON DRAIN
	NEW PAVEMENT
	NEW LANDSCAPING
	EXISTING SURFACE LEVEL
	EXISTING SURFACE LEVEL
	EXISTING KERB & CHANNEL
	NEW KERB & CHANNEL TO COUNCIL REQUIREMENTS
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING ELECTRICITY
	EXISTING GAS
	EXISTING TELECOMMUNICATION
	EXISTING WATER MAIN
	ON-SITE DETENTION TANK



MEZZANINE - DRAINAGE PLAN

SCALE: 1 : 100

STORMWATER PIT SCHEDULE						
MARK	TYPE	SIZE	COVER TYPE	COVER CLASS	COVER LEVEL	REMARKS
P1	JUNCTION	1500 DIA.	GRATED	AS PER AS3996, HEELGUARD	51.45	PUMP WELL PIT
P2	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	55.15	
P3	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	55.15	
P4	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	54.55	
P5	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	54.55	
P6	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	54.55	
P7	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	54.55	
P8	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	58.86	PROVIDE SPEL STORMSACK
P9	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	57.45	SURCHARGE PIT
P10	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	62.00	PROVIDE SPEL STORMSACK
P11	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	64.63	PROVIDE SPEL STORMSACK
P12	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	63.68	PROVIDE SPEL STORMSACK
P13	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P14	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P15	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P16	JUNCTION	900 x 900	GATIC	SOLID COVER	TBC	PROVIDE SPEL STORMSACK

City of Byde  
Development Engineering Service  
Approved Engineering Plan  
Application Number: LDA2021/0187  
Council Officer: Emily Lu  
Date: 23/09/2022

#### NOTES:

- THIS DRAINAGE DESIGN IS BASED ON LPD ADVICE BY CITY OF BYDE, DATED 23/09/2020, REFERENCE DANIEL BEASSE AND IS SUBJECT TO AUTHORITY REVIEW AND APPROVAL. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEM REQUIRED.
- FOOTPATH RL SUBJECT TO ARCHITECTURAL AND COUNCIL REVIEW. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED. (ALL LEVELS APPROXIMATE BASED FROM HAMMOND, SMELLIE & CO PTY LTD. REF: 14344 DATED: 14/05/18)
- THE DESIGN ASSUMES THAT GROUND WATER IS NOT ENCOUNTERED WITHIN THE BASEMENT EXCAVATION. PENDING GEOTECHNICAL REPORT. SHOULD GROUND WATER BE IDENTIFIED WITHIN REPORT A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. WITH POTENTIAL SEALED BASEMENT.
- THE DESIGN ASSUMES THAT HYDRAULIC DOWN PIPES AND OVERFLOWS INCLUDING TEST DRAINS ARE NOT CONNECTED TO THE BASEMENT DRAINAGE SYSTEMS. SHOULD DOWN PIPES AND OVERFLOWS ARE CONNECTED TO THE BASEMENT, A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. TOTAL FLOW RATES, FLOW DURATION AND AVERAGE RECURRENCE INTERVAL (ARI) MUST BE PROVIDED BY RELEVANT CONSULTANTS.
- SUBJECT TO VERIFICATION OF THE GROUNDWATER DEPTH ON SITE.
- SUBJECT TO REVIEW BY TRAFFIC ENGINEER.
- SUBJECT TO RECEIPT AND REVIEW OF HYDRAULICS AND FIRE SERVICE CONSTRUCTION ISSUED DRAWINGS FOR COORDINATION.
- SUBJECT TO RECEIVED UP TO DATE FEATURE LEVEL SURVEY AND IN GROUND SERVICES SURVEY.
- FOR ANY PUBLIC DOMAIN WORKS OUTSIDE THE BUILDING AND SITE BOUNDARY, BUILDERS TO MAKE ALLOWANCE TO ENGAGE SPECIALIST CONTRACTOR TO CARRY OUT FOR THE ADDITIONAL WORKS. DETAILED DESIGN SUCH AS CROSSOVER, KERB AND CHANNEL, NATURE STRIP, STREET FURNITURE AND FOOTPATH MUST BE IN ACCORDANCE AND APPROVED BY COUNCIL AND ITS RELEVANT AUTHORITIES PRIOR COMMENCEMENT OF ANY WORK. REFER TO PLANNING OR DEVELOPMENT APPLICATION AND DISABILITY ACCESS REQUIREMENT.
- ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

#### EXISTING SERVICES NOTES:

- BUILDER TO CONFIRM EXACT LOCATION, DEPTH AND SIZE OF EXISTING SERVICES PRIOR COMMENCEMENT OF ANY WORKS.
- IF ANY PROPOSED DRAINAGE SYSTEM INTERSECT WITH EXISTING SERVICES, CONTACT WEBBER DESIGN OFFICE FOR FURTHER ASSESSMENT.

ALL IN-GROUND STORMWATER TO BE INSPECTED BY A QUALIFIED REGISTERED CIVIL ENGINEER ARRANGED BY BUILDER OR CIVIL CONTRACTOR ON SITE. ALL IN-GROUND STORMWATER INSPECTIONS ARE NOT WEBBER DESIGN SCOPE. PROVIDE REG126 INSPECTION FOR ALL INSTALLED IN GROUND STORMWATER TO AUTHORITY PLANNING PERMIT REQUIREMENTS

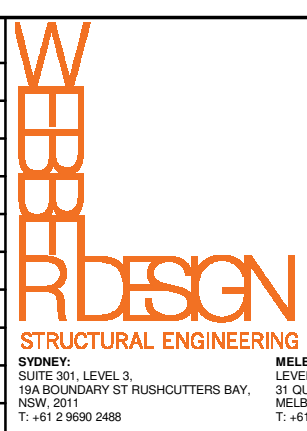
ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIASE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

INVERT LEVELS ARE SUBJECT TO FINAL STRUCTURAL DESIGN



Rev		Description	Eng	Draft	Date	Rev	Description	Eng	Draft	Date
P1	FOR DA SUBMISSION		GP		28.04.22					
P2	FOR DA SUBMISSION		GP		22.08.22					

PRELIMINARY ISSUE



ECOWORLD INTERNATIONAL

1-3 LACHLAN AVENUE  
MACQUARIE PARK, NSW

MEZZANINE FLOOR -  
DRAINAGE PLAN



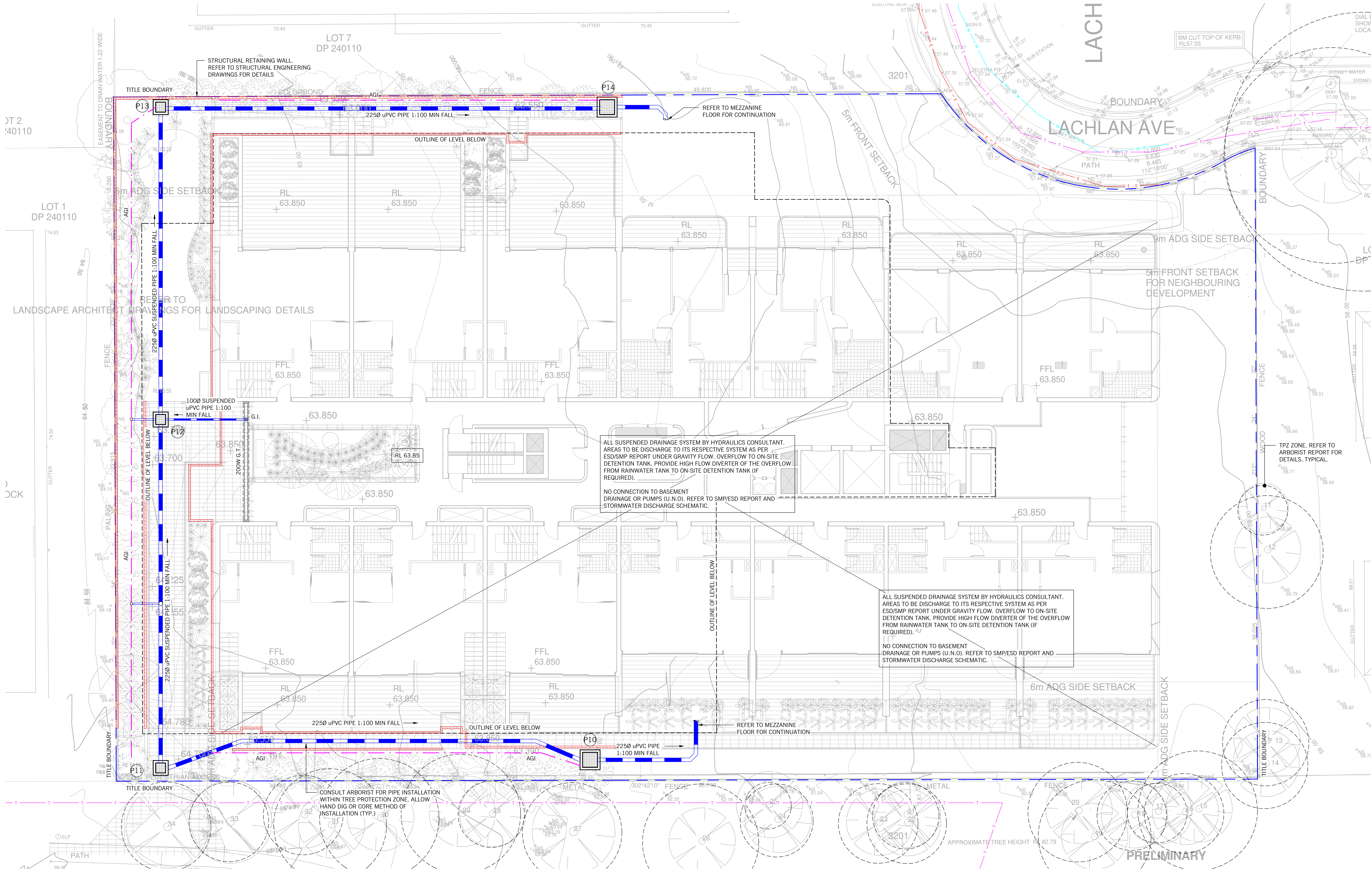
CIVIL DRAWING		
DATE	DESIGNED BY	CHECKED BY
APR22	GP	GP
SCALE: AT A2	DRAWN BY	APPROVED BY
As indicated	GP	PW
JOB No.	DRAWING No.	REV.
20106	C0110	P2
DRAWINGS INTENDED TO BE PRINTED IN COLOUR		



Regulated Design Record				
Project Address: MACQUARIE PARK, NSW				
Project Title: 1-3 LACHLAN AVENUE				
Consent No:		Body Corporate Reg No:		
UPPER GROUND FLOOR - DRAINAGE PLAN		Drawing No: C0120		
Rev	Date dd.mm.yy	Description	DP FULL NAME	Reg No

#### LEGEND

	PIT NUMBER
	GRADED PIT
	JUNCTION PIT
	EXISTING JUNCTION PIT
	EXISTING SIDE ENTRY PIT
	INSPECTION OPENING
	GRADED INLET
	FALL DIRECTION
	VERTICAL STRIP DRAIN
	VERTICAL HARD PIPE
	STORMWATER PIPE
	STORMWATER PIPE LAID OVER OR UNDER
	100 DIA. AGRICULTURAL DRAIN LAID TO 1:100 FALL
	AGL DRAIN LAID OVER OR UNDER
	PUMP OUT FLOW DRAIN LINE
	RISING MAIN LINE
	SPOON DRAIN
	NEW PAVEMENT
	NEW LANDSCAPING
	EXISTING SURFACE LEVEL
	EXISTING SURFACE LEVEL
	EXISTING KERB & CHANNEL
	NEW KERB & CHANNEL TO COUNCIL REQUIREMENTS
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING ELECTRICITY
	EXISTING GAS
	EXISTING TELECOMMUNICATION
	EXISTING WATER MAIN
	ON-SITE DETENTION TANK



UPPER GROUND FLOOR - DRAINAGE PLAN

SCALE: 1:100

STORMWATER PIT SCHEDULE						
MARK	TYPE	SIZE	COVER TYPE	COVER CLASS	COVER LEVEL	REMARKS
P1	JUNCTION	1500 DIA.	GRATED	AS PER AS3996, HEELGUARD	51.45	PUMP WELL PIT
P2	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	55.15	
P3	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	55.15	
P4	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	54.55	
P5	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	54.55	
P6	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	54.55	
P7	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	54.55	
P8	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	58.86	PROVIDE SPEL STORMSACK
P9	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	57.45	SURCHARGE PIT
P10	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	62.00	PROVIDE SPEL STORMSACK
P11	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	64.63	PROVIDE SPEL STORMSACK
P12	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	63.68	PROVIDE SPEL STORMSACK
P13	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P14	JUNCTION	900 x 900	GRATED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P15	JUNCTION	600 x 600	GRATED	AS PER AS3996, HEELGUARD	TBC	PROVIDE SPEL STORMSACK
P16	JUNCTION	900 x 900	GATIC	SOLID COVER	TBC	PROVIDE SPEL STORMSACK

City of Ryde  
Development Engineering Service  
Approved Engineering Plans  
Application Number: LDA2021/0187  
Council Officer Emily Lu  
Date: 23/08/2022

#### NOTES:

- THIS DRAINAGE DESIGN IS BASED ON LPD ADVICE BY CITY OF RYDE DATED 23/08/2020, REFERENCE DANIEL PEARSE AND IS SUBJECT TO AUTHORITY REVIEW AND APPROVAL. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED.
- FOOTPATH RL SUBJECT TO ARCHITECTURAL AND COUNCIL REVIEW. BUILDER TO MAKE NECESSARY ALLOWANCE WHERE DEEMED REQUIRED. (ALL LEVELS APPROXIMATE BASED FROM HAMMOND, SMAILLIE & CO PTY LTD. REF: 143544 DATED: 14/05/18)
- THE DESIGN ASSUMES THAT GROUND WATER IS NOT ENCOUNTERED WITHIN THE BASEMENT EXCAVATION, PENDING GEOTECHNICAL REPORT. SHOULD GROUND WATER BE IDENTIFIED WITHIN REPORT A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED WITH POTENTIAL SEALED BASEMENT.
- THE DESIGN ASSUMES THAT HYDRAULIC DOWN PIPES AND OVERFLOWS INCLUDING TEST DRAINS ARE NOT CONNECTED TO THE BASEMENT DRAINAGE SYSTEMS. SHOULD DOWN PIPES AND OVERFLOWS ARE CONNECTED TO THE BASEMENT, A RE-DESIGN OF BASEMENT DRAINAGE SYSTEM MAY BE REQUIRED. TOTAL FLOW RATES, FLOW DURATION AND AVERAGE RECURRENCE INTERVAL (ARI) MUST BE PROVIDED BY RELEVANT CONSULTANTS.
- SUBJECT TO VERIFICATION OF THE GROUNDWATER DEPTH ON SITE.
- SUBJECT TO REVIEW BY TRAFFIC ENGINEER.
- SUBJECT TO RECEIPT AND REVIEW OF HYDRAULICS AND FIRE SERVICE CONSTRUCTION ISSUED DRAWINGS FOR COORDINATION.
- SUBJECT TO RECEIVED UP TO DATE FEATURE LEVEL SURVEY AND IN GROUND SERVICES SURVEY.
- FOR ANY PUBLIC DOMAIN WORKS OUTSIDE THE BUILDING AND SITE BOUNDARY, BUILDERS TO MAKE ALLOWANCE TO ENGAGE SPECIALIST CONTRACTOR TO CARRY OUT FOR THE ADDITIONAL WORKS. DETAILED DESIGN SUCH AS CROSSOVER, KERB AND CHANNEL, NATURE STRIP, STREET FURNITURE AND FOOTPATH MUST BE IN ACCORDANCE AND APPROVED BY COUNCIL AND ITS RELEVANT AUTHORITIES PRIOR COMMENCEMENT OF ANY WORK. REFER TO PLANNING OR DEVELOPMENT APPLICATION AND DISABILITY ACCESS REQUIREMENT.
- ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIAISE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

#### EXISTING SERVICES NOTES:

- BUILDER TO CONFIRM EXACT LOCATION, DEPTH AND SIZE OF EXISTING SERVICES PRIOR COMMENCEMENT OF ANY WORKS.
- IF ANY PROPOSED DRAINAGE SYSTEM INTERSECT WITH EXISTING SERVICES, CONTACT WEBBER DESIGN OFFICE FOR FURTHER ASSESSMENT.

ALL IN-GROUND STORMWATER TO BE INSPECTED BY A QUALIFIED REGISTERED CIVIL ENGINEER ARRANGED BY BUILDER OR CIVIL CONTRACTOR ON SITE. ALL IN-GROUND STORMWATER INSPECTIONS ARE NOT WEBBER DESIGN SCOPE. PROVIDE REG126 INSPECTION FOR ALL INSTALLED IN GROUND STORMWATER TO AUTHORITY PLANNING PERMIT REQUIREMENTS

ANY CHANGES TO THE COUNCIL APPROVE LEGAL POINT OF DISCHARGE CONNECTION EITHER DUE TO LATENT CONDITIONS OR DESIGN CHANGES MUST BE APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF ANY WORKS. BUILDER OR CIVIL CONTRACTOR TO LIAISE DIRECT WITH THE RELEVANT COUNCIL ENGINEER FOR ALL NECESSARY APPROVALS.

INVERT LEVELS ARE SUBJECT TO FINAL STRUCTURAL DESIGN

WEBBER DESIGN

PRELIMINARY ISSUE

Rev.	Description	Eng.	Draft.	Date.	Rev.	Description	Eng.	Draft.	Date.
P1	FOR DA SUBMISSION	GP	GP	28.04.22					
P2	FOR DA SUBMISSION	GP	GP	22.08.22					

WEBBER DESIGN  
STRUCTURAL ENGINEERING  
1/100 DRAINAGE PLAN

1/100 DRAINAGE PLAN

ECOWORLD INTERNATIONAL

1-3 LACHLAN AVENUE  
MACQUARIE PARK, NSW

UPPER GROUND FLOOR -  
DRAINAGE PLAN

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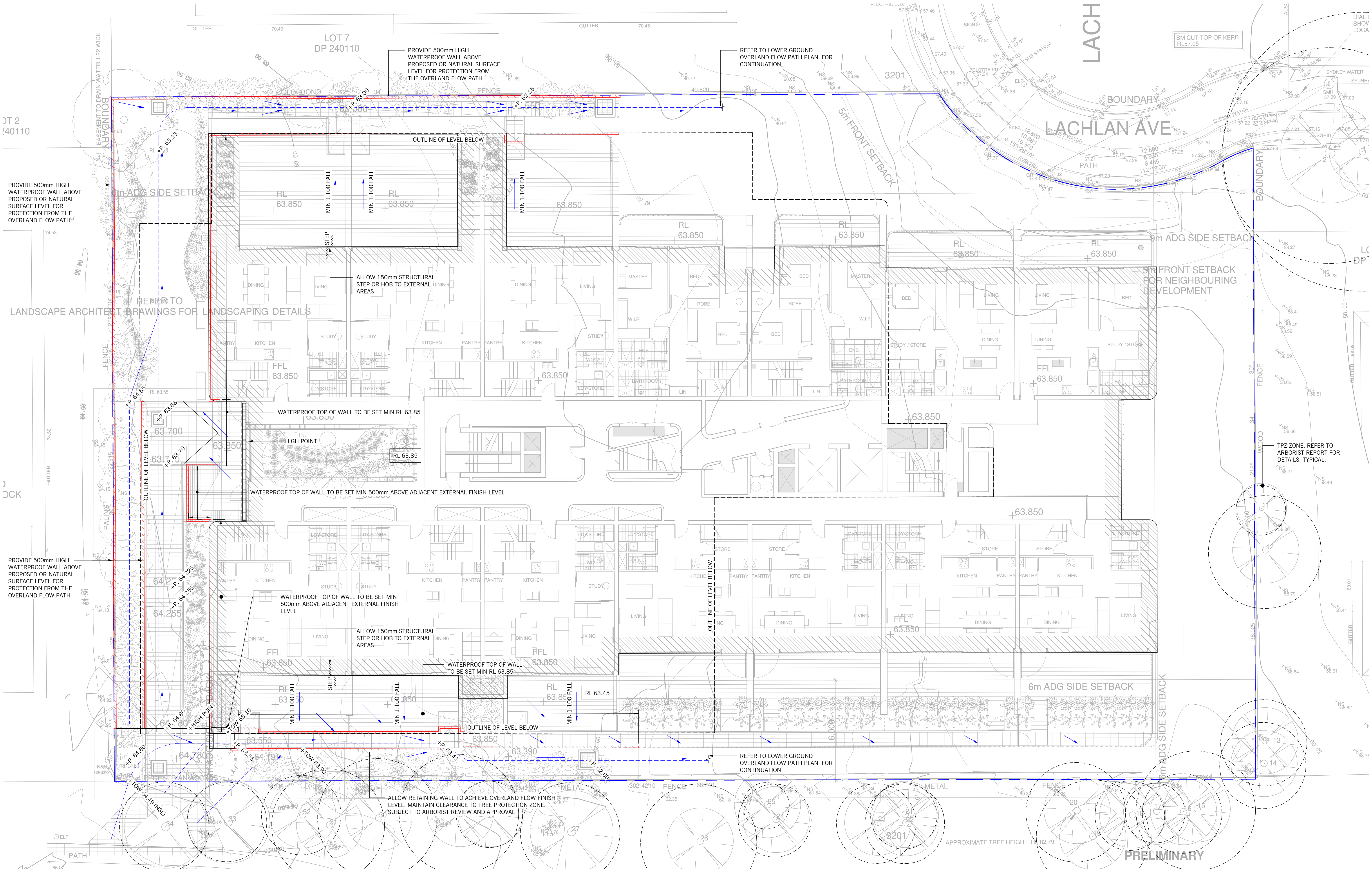






Regulated Design Record				
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Project Title:		1-3 LACHLAN AVENUE		
Consent No:		Body Corporate Reg No:		
Drawing Title:		Drawing No:		
UPPER GROUND FLOOR - OVERLAND FLOW PATH PLAN		C0210		
Rev	Date dd.mm.yy	Description	DP FULL NAME	Reg No

LEGEND	
	OVERLAND FLOW PATH
	+EX. 00.00 EXISTING SURFACE LEVEL
	+P. 00.00 PROPOSE SURFACE LEVEL
	PROPOSE HOB
	PROPOSE FLOOD/WATERPOOF WALL



UPPER GROUND FLOOR - OVERLAND FLOW PATH PLAN  
SCALE: 1 : 100

City of Wyndham  
Development Engineering Service  
Approved Engineering Plans  
Application Number: LDA2021/0187  
Council Officer: Emily Lu  
Date: 23/09/2022

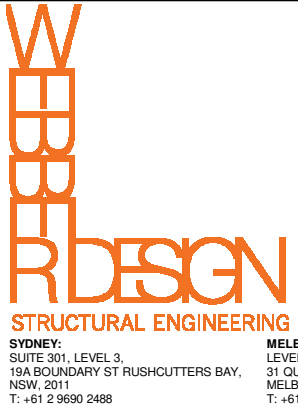


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DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS

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ECOWORLD INTERNATIONAL

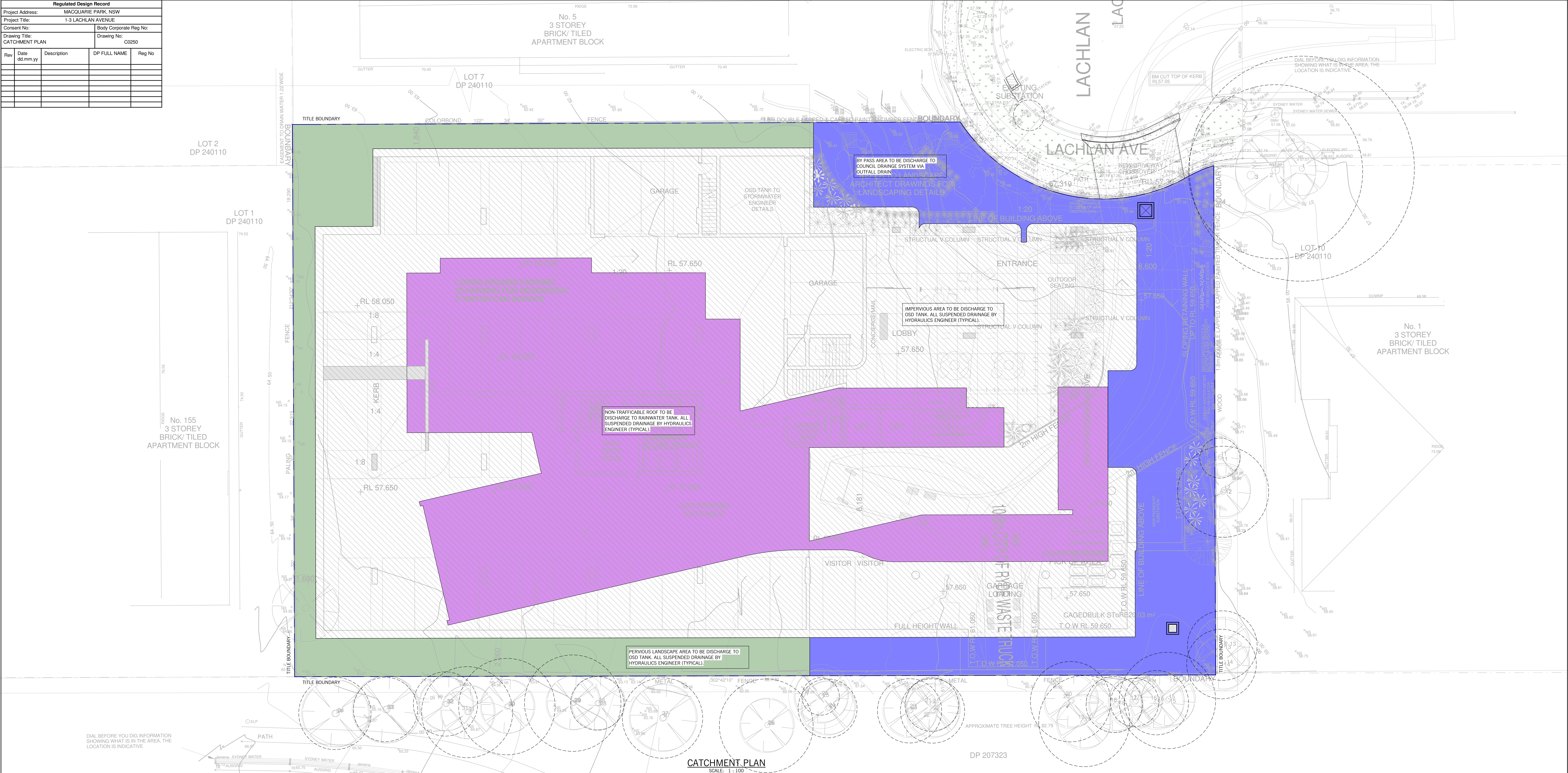
1-3 LACHLAN AVENUE  
MACQUARIE PARK, NSW

UPPER GROUND FLOOR -  
OVERLAND FLOW PATH  
PLAN



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DIN No	DRAWING No	REV
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**CATCHMENT PLAN**  
SCALE: 1 : 100

 **City of Ryde**  
Development Engineering Service  
Approved Engineering Plans  
Application Number: LDA2021/0187  
Council Officer: Emily Lu  
Date: 23/09/2022

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